

CITY OF INKSTER PLANNING COMMISSION MEETING AGENDA

MONDAY, JULY 25, 2022

6:30 P.M.

CITY COUNCIL CHAMBERS
OPEN TO THE PUBLIC

- I. ROLL CALL
- II. ADOPTION OF AGENDA
- III. ADOPTION OF MINUTES
 - A. **Adoption of June 13, 2022 Special Meeting Minutes.**
 - B. **Adoption of June 27, 2022 Meeting Minutes.**
- IV. FIRST HEARING OF THE PUBLIC (*for items on the agenda and not scheduled for a public hearing*)
- V. PUBLIC HEARING(S)
- VI. OLD BUSINESS
 - A. **Case # 21-23 (SLU) and 21-22 (SPR) Storage Yard at 2911 Ash Street.**
Review and consideration of recommendation of approval the special land use request for a Storage Yard and consideration of approval of the corresponding site plan at 2911 Ash Street. Anthony Pasley is the applicant.
 - B. **Case # 22-16 (SLU) and 22-15 (SPR) Adult Use Marijuana Retailer and Medical Marijuana Provisioning Center at 29899 Michigan Avenue.**
Review and consideration of recommendation of approval of a special land use request and approval of site plan for an Adult Use Marijuana Retailer and Medical Marijuana Provisioning Center and general retail in the B-3, General Business district at 29899 Michigan Avenue. Ermal Mandijais the applicant.
 - C. **Case # 21-17 (SLU) and 21-16 (SPR) Hookah Lounge and Restaurant at 364 Inkster Road.**
Review and consideration of recommendation of approval of a special land use request and approval of site plan for a Hookah Lounge and separate Restaurant in the B-2, Thoroughfare Mixed-Use District at 364 Inkster Road. Ahmad Youssef is the applicant.
- VII. NEW BUSINESS
- VIII. MISCELLANEOUS

Redevelopment Ready Community Training – August 8, 2022

Adoption of Meeting Calendar for Remainder of 2022

Discussion of September Joint Meeting on Parliamentary Procedures Presented by the Michigan Municipal League
- IX. SECOND HEARING OF THE PUBLIC (*for non-agenda items*)
- X. ADJOURNMENT

CITY OF INKSTER PLANNING COMMISSION MEETING AGENDA

MONDAY, JUNE 13, 2022

6:30 P.M.

CITY COUNCIL CHAMBERS

OPEN TO THE PUBLIC

The meeting was called to order at 6:38 p.m. by Chairman Chisholm.

I. ROLL CALL

Present: Chairman Steve Chisholm, Vice-Chair Kimberly Faison, Commissioner Rebecca Daniels, Commissioner Lynette O. Cain, Commissioner Daryl Davis, Commissioner Tonia Williams.

Absent: Commissioner Mack Willis and Mayor Patrick Wimberly

Others in attendance: Mara Braciszewski (McKenna), Gage Belko (McKenna) James Gorenflo (McKenna), Members of the Public

II. ADOPTION OF AGENDA

MOVED by Davis, seconded by Daniels to Adopt the Agenda as presented.

ROLL CALL VOTE:

Chairman Chisholm	Yea
Vice Chair Faison	Yea
Secretary Daniels	Yea
Commissioner Davis	Yea
Commissioner Cain	Yea
Commissioner Williams	Yea

Vote: 6-0, Motion carried.

III. ADOPTION OF MINUTES

A. Adoption of May 23, 2022 minutes

MOVED by Daniels, seconded by Williams to approve the minutes as presented.

ROLL CALL VOTE:

Chairman Chisholm	Yea
Vice Chair Faison	Yea
Secretary Daniels	Yea
Commissioner Davis	Yea
Commissioner Cain	Yea
Commissioner Williams	Yea

Vote: 6-0, Motion carried.

IV. FIRST HEARING OF THE PUBLIC (for items not scheduled for a public hearing)

Chairman Steve Chisholm opened the floor for the first hearing of the public.

Comments:

Sandra Watson, President made comment on what a Special Land Use. She is concerned with all of the special land requests that have come and are coming to the board.

Mayor Pro-tem Howard made comments on agenda item B. and asked if the City of Inkster currently has any medical provisioning centers to give. She is concerned about the drive-thru aspect being conjoined with a marijuana provisioning center. She would like to see more development that would bring profit to the city.

Soujoud Hamade, cannabis attorney approached the podium to speak on her work she has done in the City of Inkster. She made comment that bringing adult use retailers to the city would reduce the probability of overdoses and the use of illegal marijuana. She explained the process of what customers have to go through coming into the retailers to buy marijuana.

Representative on behalf of Bbuddz, made comments on that the board should be heavily considering if the use meets special land use standards or not. If they meet the standards, then they should be sent over to City Council for their review.

Sandra Watson, President came back to the podium to speak on the moratorium currently in place for Marijuana facilities. Mr. Gorenflo of Mckenna defined what the moratorium is for and it is limiting the acceptance of any new applications for provisioning centers. Mr. Gorenflo continued to explain the entire process for acceptance and protocols of any applications prior to the moratorium.

Chairman Steve Chisholm closed the floor for the first hearing of the public.

V. PUBLIC HEARING(S) None.

VI. OLD BUSINESS

A. Presentation on Special Land Uses in the City of Inkster.

Presentation was given by Mara Braciszewski of Mckenna. This presentation was on the background of the existing moratorium on recreational marijuana facilities and outlined the City of Inkster's current process to open a new marijuana-related business.

B. Case #s 21-20 (SLU) and 21-19 (SPR) Adult Use Marijuana Retailer, Medical Marijuana Provisioning Center and Drive Thru Restaurant Review at 29225 – 29245 Michigan Avenue.

Mr. Gorenflo presented the review for the subject site.

DISCUSSION. Chairman Chisholm asked if the special land uses act as separate or conjoined. Mr. Gorenflo explained that as far as the motions they can be voted on as together special land uses, and the site plan approval.

Representative for Bbuddz answered questions from the board regarding the restaurant aspect of the site. It will be a leased business that is attached to the marijuana facility.

MOVED by Davis, seconded by Daniels to recommend approval for special land use for adult use marijuana retailer at 29225-29245 Michigan Avenue with the six conditions as outlined in the review to City Council.

ROLL CALL VOTE:

Chairman Chisholm Yea

Vice Chair Faison	Yea
Secretary Daniels	Yea
Commissioner Davis	Yea
Commissioner Cain	Yea
Commissioner Williams	Yea

Vote: 6-0, Motion carried.

MOVED by Daniels, seconded by Davis to recommend approval of special land use for medical marijuana at 29225-29245 Michigan Avenue to City Council.

ROLL CALL VOTE:

Chairman Chisholm	Nay
Vice Chair Faison	Yea
Secretary Daniels	Yea
Commissioner Davis	Yea
Commissioner Cain	Yea
Commissioner Williams	Yea

Vote: 5-1, Motion carried.

MOVED by Davis, seconded by Cain to recommend approval of the site plan review site plan review for 29225-29245 Michigan Avenue to City Council with the six conditions outlined in the review.

ROLL CALL VOTE:

Chairman Chisholm	Yea
Vice Chair Faison	Yea
Secretary Daniels	Yea
Commissioner Davis	Yea
Commissioner Cain	Yea
Commissioner Williams	Yea

Vote: 6-0, Motion carried.

C. Case #s 21-19 (SLU) and 21-19 (SPR) Adult Use Marijuana Retailer at 30007 Michigan Avenue.

Mr. Gorenflo presented the review for the subject site.

DISCUSSION.

Representative, attorney, for the site came to the podium to answer questions from the board members. She made a statement regarding the buffer with suggestions on how to handle the close proximity to other marijuana facilities.

MOVED by Daniels, seconded by Williams to recommend approval of special land use for adult use marijuana retailer at 30007 Michigan Avenue to City Council with the conditions outlined in the review and findings of fact from the ordinance.

ROLL CALL VOTE:

Chairman Chisholm	Yea
Vice Chair Faison	Yea
Secretary Daniels	Yea
Commissioner Davis	Yea
Commissioner Cain	Yea
Commissioner Williams	Yea

Vote: 6-0, Motion carried.

MOVED by Davis, seconded by Daniels to recommend approval of site plan review for adult use marijuana retailer at 30007 Michigan Avenue to City Council with the conditions outlined in the review.

ROLL CALL VOTE:

Chairman Chisholm	Yea
Vice Chair Faison	Yea
Secretary Daniels	Yea
Commissioner Davis	Yea
Commissioner Cain	Yea
Commissioner Williams	Yea

Vote: 6-0, Motion carried.

VII. NEW BUSINESS. None.

VIII. MISCELLANEOUS. Commissioner Cain had a question for the City Attorney regarding the process for future acceptance. City Attorney explained that the new process was outlined in the memo presented by Mara Braciszewski of McKenna earlier in the meeting and there will be signs required for future applications.

Commissioner Faison made comments on clarity and support for August 8th to be scheduled training for Planning Commission and City Council.

IX. SECOND HEARING OF THE PUBLIC (*for items not scheduled for a public hearing*)
Sandra Watson, President, made clarity of comments made earlier regarding FOIA-able action.

Representative for Buddzz, wanted clarification made on the motions for the addresses to be added.

X. ADJOURNMENT

Adjourned at 8:49 pm.

MOVED by Davis, seconded by Daniels to adjourn at

ROLL CALL VOTE:

Chairman Chisholm	Yea
Vice Chair Faison	Yea
Secretary Daniels	Yea
Commissioner Davis	Yea
Commissioner Cain	Yea
Commissioner Williams	Yea

Vote: 6-0, Motion carried.

APPENDIX A: Proposed 2022 Planning Commission Meeting Schedule

January 24

February 14 & 28

~~March 14 & 28~~
~~April 11 & 25~~
~~May 9 & 23~~
June 27
July 25
August 22
September 26
October 24
November 28
December 27 (Tuesday)

DRAFT

CITY OF INKSTER PLANNING COMMISSION MEETING AGENDA

MONDAY, JUNE 27, 2022
6:30 P.M.
CITY COUNCIL CHAMBERS
OPEN TO THE PUBLIC

The meeting was called to order at 6:47 p.m. by Chairman Chisholm.

I. ROLL CALL

Present: Chairman Steve Chisholm, Commissioner Rebecca Daniels, Commissioner Daryl Davis, Mayor Patrick Wimberly

Absent: Commissioner Mack Willis, Commissioner Tonia Williams, Commissioner Kimberly Faison

Others in attendance: Mara Braciszewski (McKenna), Members of the Public

II. ADOPTION OF AGENDA

MOVED by Wimberly, seconded by Daniels to Adopt the Agenda with the removal of Adoption of Minutes.

ROLL CALL VOTE:

Chairman Chisholm	Yea
Secretary Daniels	Yea
Commissioner Davis	Yea
Mayor Wimberly	Yea

Vote: 4-0, Motion carried.

III. ADOPTION OF MINUTES. None.

IV. FIRST HEARING OF THE PUBLIC

Chairman Steve Chisholm opened the floor for the first hearing of the public.

Comments:

1. Wilhelmina Baldwin resident of Inkster asked questions regarding 2911 Ash Street storage yard and wanting clarification on the use. Mara Braciszewski, Interim Planning Director, clarified the use for the resident.
2. Sterling Hankerson, resident, questioned all of the marijuana facilities that are on the agenda. She is not in favor of the amount of facilities coming before the board and that are already in the city.

Chairman Steve Chisholm closed the floor for the first hearing of the public.

V. PUBLIC HEARING(S)

MOVED by Wimberly, seconded by Daniels to open the public hearing for Case # 21-23 (SLU) Storage Yard at 2911 Ash Street public hearing.

ROLL CALL VOTE:

Chairman Chisholm	Yea
Secretary Daniels	Yea
Commissioner Davis	Yea
Mayor Wimberly	Yea

Vote: 4-0, Motion carried.

No Discussion.

A. Case # 21-23 (SLU) Storage Yard at 2911 Ash Street.

Mara Braciszewski, Interim Planning Director, presented the item.

Comments. Applicant was not present at the meeting.

1. Juan Bradford, resident of Inkster, someone who knows the applicant personally, spoke on this item and he supports the storage yard.

MOVED by Davis, seconded by Wimberly to close Public Hearing for Case # 21-23 (SLU) Storage Yard at 2911 Ash Street.

ROLL CALL VOTE:

Chairman Chisholm	Yea
Secretary Daniels	Yea
Commissioner Davis	Yea
Mayor Wimberly	Yea

Vote: 4-0, Motion carried.

Discussion. Clarification was needed for the vacant home on the parcel adjacent to the proposed property.

B. Case # 22-05 (TA) Rezoning from B-3, General Business District to M-1, Light Industrial District at 3000 Middlebelt Road.

MOVED by Davis, seconded by Wimberly to open the public hearing for Case # 22-05 (TA) Rezoning from B-3, General Business District to M-1, Light Industrial District at 3000 Middlebelt Road.

ROLL CALL VOTE:

Chairman Chisholm	Yea
Secretary Daniels	Yea
Commissioner Davis	Yea
Mayor Wimberly	Yea

Vote: 4-0, Motion carried.

Mara Braciszewski, Interim Planning Director, presented the item.

Comments.

1. Soujoud Hamade, attorney for the applicant, approached the podium to answer any questions. She gave a summary of the proposed use of the building.

2. Sandra Watson, resident, asked questions about a previous rezoning request for this property that was

for cannabis.

3. Kim Howard, resident, asked about the Zoning Board of Appeals and the process of appeals after Planning Commission and City Council.

4. Wilhelmina Baldwin, resident, had questions regarding this impinging on traffic going to the airport.

5. Renee, resident, asked about clarification on what is proposed to be stored at the warehouse and traffic concerns. Attorney for the applicant answered her questions.

6. Juan Bradford, resident, wanted clarification of the potential traffic that would be coming in and out of the site.

7. Akindele, resident, wanted clarification on what will be stored. Attorney for the applicant stated just pallets.

8. Timothy, resident, asked about what type of day that traffic will be coming and going. Attorney for the applicant clarified the proposed hours of operation.

MOVED by Davis, seconded by Wimberly to close Public Hearing for Case # 22-05 (TA) Rezoning from B-3, General Business District to M-1, Light Industrial District at 3000 Middlebelt Road.

ROLL CALL VOTE:

Chairman Chisholm	Yea
Secretary Daniels	Yea
Commissioner Davis	Yea
Mayor Wimberly	Yea

Vote: 4-0, Motion carried.

AUDIO STOPPED WORKING

C. Case # 22-16 (SLU) Adult Use Marijuana Retailer and Medical Marijuana Provisioning Center at 29899 Michigan Avenue.

MOVED by Wimberly, seconded by Davis to open the public hearing for Case # 22-16 (SLU) Adult Use Marijuana Retailer and Medical Marijuana Provisioning Center at 29899 Michigan Avenue.

ROLL CALL VOTE:

Chairman Chisholm	Yea
Secretary Daniels	Yea
Commissioner Davis	Yea
Mayor Wimberly	Yea

Vote: 4-0, Motion carried.

Mara Braciszewski, Interim Planning Director, presented the item.

Comments.

AUDIO STARTED WORKING AT THE END OF ITEM C PH

MOVED by Daniels, seconded by Davis to close the public hearing for Case # 22-16 (SLU) Adult Use Marijuana Retailer and Medical Marijuana Provisioning Center at 29899 Michigan Avenue.

ROLL CALL VOTE:

Chairman Chisholm	Yea
Secretary Daniels	Yea
Commissioner Davis	Yea
Mayor Wimberly	Yea

Vote: 4-0, Motion carried.

D. Case # 22-11 (SLU) Adult Use Marijuana Retailer and Medical Marijuana Provisioning Center at 29709 Michigan Avenue.

MOVED by Davis, seconded by Wimberly to open the public hearing for Case # 22-11 (SLU) Adult Use Marijuana Retailer and Medical Marijuana Provisioning Center at 29709 Michigan Avenue.

ROLL CALL VOTE:

Chairman Chisholm	Yea
Secretary Daniels	Yea
Commissioner Davis	Yea
Mayor Wimberly	Yea

Vote: 4-0, Motion carried.

Mara Braciszewski, Interim Planning Director, presented the item.

Comments.

John McMullen, architect for the site, came to the podium to explain the proposed facility. He brought in renderings for the public and the board members to view.

1. Juan Bradford, resident, asked if any of the presenters have an association with the current owner of the facility. Owner, Fred Cap, of the current building on the property and working on the new facility was present. He stated that there will be no merger of the two buildings.
2. Allen Markovitz, property owner of the proposed site, spoke to the board members about the proposed use on the site and how he feels it will benefit the city of Inkster.
3. Sterling Hankerson asked the architect and owner what other business entities they have donated to for the City of Inkster.
4. Police Chief for the City of Inkster spoke on Mr. Markovitz's donations to the police academy.
5. Juan Bradford came back to the podium to speak on how his beliefs and views on Marijuana has changed over the years to become positive.
6. Ruth Williams, resident, sided with Juan Bradford's statement.
7. Wilhelmina Baldwin, resident, spoke on how impressed she was with the presentation given tonight for the site.
8. Anthony Anderson, resident, made a statement that the city needs to accept new policy, marijuana, and see them in a better perspective.

MOVED by Daniels, seconded by Davis to close the public hearing for Case # 22-11 (SLU) Adult Use Marijuana Retailer and Medical Marijuana Provisioning Center at 29709 Michigan Avenue.

ROLL CALL VOTE:

Chairman Chisholm	Yea
Secretary Daniels	Yea
Commissioner Davis	Yea
Mayor Wimberly	Yea

Vote: 4-0, Motion carried.

E. Case # 22-20 (SLU) Adult Use Marijuana Retailer and Medical Marijuana Provisioning Center at 26201 Michigan Avenue.

MOVED by Wimberly, seconded by Daniels to open the public hearing for Case # 22-20 (SLU) Adult Use Marijuana Retailer and Medical Marijuana Provisioning Center at 26201 Michigan Avenue.

ROLL CALL VOTE:

Chairman Chisholm	Yea
Secretary Daniels	Yea
Commissioner Davis	Yea
Mayor Wimberly	Yea

Vote: 4-0, Motion carried.

Mara Braciszewski, Interim Planning Director, presented the item.

Comments.

1. Juan Bradford, resident, asked applicant if they have ever donated or helped with public safety for the city.
2. Ruth Williams, resident, spoke on how great the applicant Abe is. She wanted to make sure that business owner who promises donations be sure that they do.
3. Fire Chief of the city did make it aware that the applicant of this site is one who gives to public safety as well.

MOVED by Wimberly, seconded by Daniels to close the public hearing for Case # 22-20 (SLU) Adult Use Marijuana Retailer and Medical Marijuana Provisioning Center at 26201 Michigan Avenue.

ROLL CALL VOTE:

Chairman Chisholm	Yea
Secretary Daniels	Yea
Commissioner Davis	Yea
Mayor Wimberly	Yea

Vote: 4-0, Motion carried.

F. Case # 22-14 (SLU) Adult Use Marijuana Retailer and Medical Marijuana Provisioning Center at 1444 Inkster Road.

MOVED by Wimberly, seconded by Daniels to open the public hearing for Case # 22-14 (SLU) Adult Use Marijuana Retailer and Medical Marijuana Provisioning Center at 1444 Inkster Road.

ROLL CALL VOTE:

Chairman Chisholm	Yea
Secretary Daniels	Yea
Commissioner Davis	Yea
Mayor Wimberly	Yea

Vote: 4-0, Motion carried.

Mara Braciszewski, Interim Planning Director, presented the item.

Comments.

Applicant for the site spoke to the board members on why he is wanting to open this facility. He does own other properties in the city.

No further comments from the public.

MOVED by Wimberly, seconded by Daniels to close the public hearing for Case # 22-14 (SLU) Adult Use Marijuana Retailer and Medical Marijuana Provisioning Center at 1444 Inkster Road.

ROLL CALL VOTE:

Chairman Chisholm	Yea
Secretary Daniels	Yea
Commissioner Davis	Yea
Mayor Wimberly	Yea

Vote: 4-0, Motion carried.

VI. OLD BUSINESS

A. Case #s 22-08 (SLU) Drive Thru Restaurant

MOVED by Wimberly, seconded by Daniels to recommend approval for Special Land Use for a drive thru restaurant at 29225-29245 Michigan Avenue to City Council.

ROLL CALL VOTE:

Chairman Chisholm	Yea
Secretary Daniels	Yea
Commissioner Davis	Yea
Mayor Wimberly	Yea

Vote: 4-0, Motion carried.

VII. NEW BUSINESS.

A. Case # 21-23 (SLU) Storage Yard at 2911 Ash Street.

MOVED by Daniels, seconded by Wimberly to table Special Land Use for the applicant to provide more information at the next Planning Commission Meeting.

ROLL CALL VOTE:

Chairman Chisholm	Yea
Secretary Daniels	Yea
Commissioner Davis	Yea

Mayor Wimberly Yea

Vote: 4-0, Motion carried.

MOVED by Wimberly, seconded by Davis to table Site Plan recommendation for the applicant to provide more information at the next Planning Commission Meeting.

ROLL CALL VOTE:

Chairman Chisholm Yea
Secretary Daniels Yea
Commissioner Davis Yea
Mayor Wimberly Yea

Vote: 4-0, Motion carried.

B. Case # 22-05 (TA) Rezoning from B-3, General Business District to M-1, Light Industrial District at 3000 Middlebelt Road.

Agenda item failed due to of lack support for the rezoning. No motion was made.

C. Case # 22-16 (SLU) Adult Use Marijuana Retailer and Medical Marijuana Provisioning Center at 29899 Michigan Avenue.

Agenda item failed due to lack of support for the Special Land Use and the Site Plan. No motion was made.

D. Case # 22-11 (SLU) Adult Use Marijuana Retailer and Medical Marijuana Provisioning Center at 29709 Michigan Avenue.

MOVED by Davis, seconded by Daniels to recommend approval of the Special Land Use for Adult Use Marijuana Retailer and Medical Marijuana Provisioning Center at 29709 Michigan Avenue with the conditions listed in the review to City Council.

ROLL CALL VOTE:

Chairman Chisholm Yea
Secretary Daniels Yea
Commissioner Davis Yea
Mayor Wimberly Yea

Vote: 4-0, Motion carried.

MOVED by Davis, seconded by Daniels to recommend approval of the Site Plan for 29709 Michigan Avenue with the conditions listed in the review to City Council.

ROLL CALL VOTE:

Chairman Chisholm Yea
Secretary Daniels Yea
Commissioner Davis Yea
Mayor Wimberly Yea

Vote: 4-0, Motion carried.

E. Case # 22-20 (SLU) Adult Use Marijuana Retailer and Medical Marijuana Provisioning Center at 26201 Michigan Avenue.

MOVED by Daniels, seconded by Davis to recommend approval of the Special Land Use for Adult Use Marijuana Retailer and Medical Marijuana Provisioning Center at 26201 Michigan Avenue with the conditions listed in the review to City Council.

ROLL CALL VOTE:

Chairman Chisholm	Yea
Secretary Daniels	Yea
Commissioner Davis	Yea
Mayor Wimberly	Yea

Vote: 4-0, Motion carried.

MOVED by Daniels, seconded by Davis to recommend approval of the Site Plan for 26201 Michigan Avenue with the conditions listed in the review to City Council.

ROLL CALL VOTE:

Chairman Chisholm	Yea
Secretary Daniels	Yea
Commissioner Davis	Yea
Mayor Wimberly	Yea

Vote: 4-0, Motion carried.

F. Case # 22-14 (SLU) Adult Use Marijuana Retailer and Medical Marijuana Provisioning Center at 1444 Inkster Road.

MOVED by Wimberly, seconded by Davis to recommend approval of the Special Land Use for Adult Use Marijuana Retailer and Medical Marijuana Provisioning Center at 1444 Inkster Road with the conditions listed in the review to City Council.

ROLL CALL VOTE:

Chairman Chisholm	Yea
Secretary Daniels	Yea
Commissioner Davis	Yea
Mayor Wimberly	Yea

Vote: 4-0, Motion carried.

MOVED by Wimberly, seconded by Davis to recommend approval of the Site Plan for 1444 Inkster Road with the conditions listed in the review to City Council.

ROLL CALL VOTE:

Chairman Chisholm	Yea
Secretary Daniels	Yea
Commissioner Davis	Yea
Mayor Wimberly	Yea

Vote: 4-0, Motion carried.

VIII. MISCELLANEOUS. Chair did announce there are two vacancies open on the board.

IX. SECOND HEARING OF THE PUBLIC (*for items not scheduled for a public hearing*)

1. Sandra Watson, resident, asked about the marijuana moratorium that is in place and how many applicants had applied. The Interim Planning Director made clarification that there were 12 applicants within this time.

2. Applicant for the two agenda items that were not voted on wanted clarification as to why no motion was made.

X. ADJOURNMENT

Adjourned at 10:06 pm.

MOVED by Daniels, seconded by Wimberly to adjourn at

ROLL CALL VOTE:

Chairman Chisholm	Yea
Secretary Daniels	Yea
Commissioner Davis	Yea
Mayor Wimberly	Yea

Vote: 4-0, Motion carried.

APPENDIX A: 2022 Planning Commission Meeting Schedule

~~January 24~~
~~February 14 & 28~~
~~March 14 & 28~~
~~April 11 & 25~~
~~May 9 & 23~~
~~June 27~~
July 25
August 22
September 26
October 24
November 28
December 27 (Tuesday)



MCKENNA

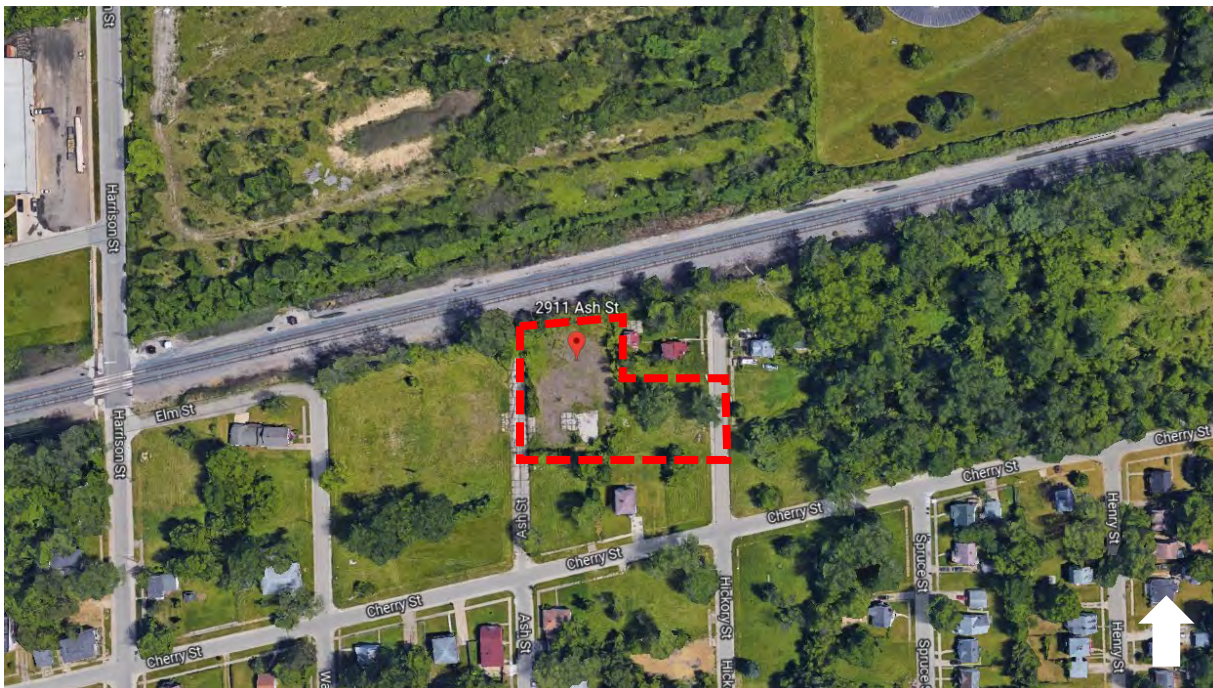
June 16, 2022

City of Inkster
26215 Trowbridge
Inkster, MI 48141

Subject: Special Land Use and Site Plan Review for a Contractor Storage Yard
Location: 2911 Ash Street (*Parcel ID 44-010-01-0017-000 ; 44-010-01-0022-000 ; 44-010-01-0021-000*)
Zoning: M-1, Light Industrial District
Project #: SPR 21-22 ; SLU 21-23

Dear Commissioners,

The City of Inkster Planning Department has reviewed the above-referenced site plan and special land use applications for a proposed contractor storage yard and storage shelter at 2911 Ash Street. The project seeks to combine three parcels. The site is 0.78 acres located between Ash St and Hickory St, north of Cherry St and south of the railroad. This review is based on the site plan application dated March 7, 2022. Due to the proposed use being a storage yard, an additional review for a Special Land Use is also required.



Subject site

HEADQUARTERS
235 East Main Street
Suite 105
Northville, Michigan 48167

O 248.596.0920
F 248.596.0930
MCKA.COM

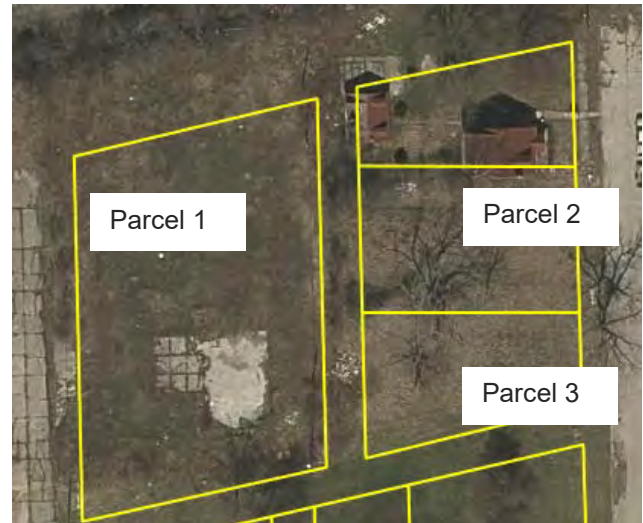
Communities for real life.



PROJECT SUMMARY

The applicant proposes to construct a storage yard, including an open shelter for landscaping and construction equipment. No vehicular parking for employees is proposed. The site is zoned M-1 Light Industrial, where storage facilities for construction contractor's equipment is permitted by special land use approval. Open storage is permitted provided that it is enclosed within a building or an obscuring wall. The applicant proposes to install an 8 ft. obscuring wall around the property.

A land survey is required to confirm that the vacant home at 2914 Hickory (home featured in Parcel 2) occupies a standalone parcel. Additionally, a parcel combination will need to take place before construction activity and final site plan approval can be granted.



RECOMENDATIONS

Special Land Use Consideration. Pending any comments from the public during the public hearing, we recommend the Planning Commission consider the following motion:

I move to recommend approval to City Council for the proposed special land use for a contractor storage yard at 2911 Ash Street (Parcel ID 44-010-01-0017-000 ; 44-010-01-0022-000 ; 44-010-01-0021-000) subject to the conditions outlined in the site plan review and the following special land use review conditions are met:

- 1. Abide by all requirements indicated in the Site Plan Review, including but not limited to providing a Security Plan and hours of operation in compliance with Chapter 124 requirements;*
- 2. Provide information on material for required 8 ft. industrial fence screening;*
- 3. Provide required landscaping and irrigation system, as outlined in Site Plan Review letter;*
- 4. Provide information on the materials used to create the shelter;*
- 5. Provide a note on the site plan that the shelter will be permanent, as required in the Zoning Ordinance;*
- 6. Receive a waiver from Planning Commission to allow the storage yard to be the primary use of the site;*
- 7. Provide a note on the site plan indicating that the front yard will not contain storage, that storage will not be in parking spaces and that storage will not impede traffic circulation; and*
- 8. Provide a note indicating that the storage shelter will not exceed 25 ft. in height.*



Site Plan Consideration. Provided there is consensus on the Commission regarding the special land use review, we recommend the Planning Commission consider the following motion:

I move to approve the proposed contractors' storage yard at 2911 Ash Street (Parcel ID 44-010-01-0017-000 ; 44-010-01-0022-000 ; 44-010-01-0021-000), provided that special land use approval is granted by City Council, and contingent on the following:

- 1. Provide a new land survey to ensure that the vacant home on 2914 Hickory is on a standalone parcel. If not, a lot split and recombination must be provided prior to final site plan approval;*
- 2. Add a note that the storage structure will not exceed 25 ft. in height;*
- 3. It is recommended that the applicant add a 5 ft. sidewalk on the property's frontage along Ash St and Hickory St;*
- 4. Plant 7 deciduous trees in the Ash St right-of-way and 3 trees in the Hickory St right-of-way;*
- 5. Plant 3 ornamental trees in the Ash St right-of-way and 2 trees in the Hickory St right-of-way;*
- 6. Provide an irrigation plan and indicate it on the site plan;*
- 7. Receive Planning Commission approval to waive Parking Landscaping requirements;*
- 8. Provide one parking space on the site plan;*
- 9. Provide information on the existing millings and that they will not be used for storage;*
- 10. Provide architectural details for the storage shelter and receive City approval;*
- 11. Receive City approval and combine three parcels into one parcel.*

Respectfully submitted,

McKENNA

Alicia Warren
Assistant Planner

Kyle Mucha, AICP
Senior Principal Planner



Special Land Use Review

Standards for Special Land Use are set forth by [Section 155.289](#). This project is reviewed against the City's [Zoning Ordinance](#), [Master Plan](#), existing site conditions, and sound planning and design principles. We offer the following comments for your consideration; underlined items require additional discussion and/or identify outstanding items to be addressed.

1. HARMONY WITH MASTER PLAN

Will be harmonious and in accordance with the general objectives of the Master Land Use Plan.

Findings: In accordance with the 2017 Master Plan, the subject site Future Land Use (FLU) is designated as Industrial, which includes manufacturing, assembly, warehousing, salvage facilities, research/office, and similar uses. The use of an outdoor storage yard fully aligns with the Future Land Use establishment examples for the Industrial District.

2. HARMONY WITH EXISTING CHARACTER

Will be designed, constructed, operated, and maintained in harmony with the existing and intended character of the general area and will not change the essential character of the area.

Findings: The current land and surrounding parcels are vacant. The applicant, in accordance with the site plan review process, proposes to install an eight-foot industrial fence screening along the perimeter of the subject site, however, no further details have been provided regarding the material type for this proposed screening fence or landscaping.

3. IMPROVEMENT TO THE COMMUNITY

Will represent a visual, physical and economic improvement to the property in the immediate vicinity and to the community as a whole.

Findings: An active use on this site, as proposed, will be an economic improvement to the vicinity, and should not impact visual/physical aesthetics in the area; however, landscaping and other site improvements will be required and are explained in detail in the site plan review section of this letter.

4. ADEQUATE PUBLIC SERVICES AND FACILITIES

Will be served adequately by essential public services and facilities, such as streets, drainage structures, sewer and water infrastructure, police and fire protection and refuse disposal, or that persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately for such services.

Findings: As a previously developed site, public utilities are available; we defer to the City Engineer for any additional comments.

5. SMOKE, FUME, GLARE, NOISE, VIBRATION OR ODOR POLLUTION



Will not involve uses, activities, processes, materials, equipment, and conditions of operation that will be detrimental to any person or property or to the general welfare by reason of excessive smoke, fumes, glare, noise, vibration, odors, traffic generation or other nuisances generated by the proposed use.

Findings: The subject site is surrounded by other parcels zoned M-1, Light Industrial Use. While existing surrounding sites are residential in use, it is anticipated as the city develops, these homes will be sold and converted to industrial uses. As such, the anticipated impact of a storage yard is not expected to detract from the area. Should the Planning Commission have further questions regarding this section, we recommend that they be directed towards the applicant, who should be able to provide further clarity on the intended business operation.

6. REDUCTION OF ECONOMIC VIABILITY

Will not erode or reduce the economic viability of other existing land uses. Consideration shall be given to the compatibility of other existing uses with the proposed use and maintaining land values within the City.

Findings: The subject site is currently vacant and does not provide economic viability to the surrounding existing land uses. The proposed uses are anticipated to increase economic viability.

7. EXCESSIVE OR ADDITIONAL COSTS TO PUBLIC SERVICES

Will not create excessive additional requirements at public costs for public facilities and services and will not be determinate to the economic welfare of the community.

Findings: The proposed use is not anticipated to create additional public costs; we defer to the City Engineer for any additional comments.

8. CONSISTENT WITH INTENT OF ZONING ORDINANCE

Will be consistent with the intent and purpose of the Zoning Ordinance and comply with all specific standards established for each use.

Findings: The use of the existing vacant land for a storage yard is supported by the intent of the M-1 Light Industrial District; this requirement is met. Furthermore, the Site Plan review enforces zoning ordinance standards and guides the site to be in compliance with the community's vision for a healthier, safer city.



Additional Use Standards Review

Additional use standards for contractor's offices and yards are prescribed in the Zoning Ordinance, as noted in the table below. We offer the following comments for your consideration; underlined items require additional discussion and/or identify outstanding items to be addressed.

Use	Zoning Ordinance Use Standards – Applicable Sections
Contractors' Yards	155.139

CONTRACTORS' OFFICES AND YARDS (§ 155.139)

- Buildings shall be permanently constructed. Temporary construction trailers shall not be occupied.*
Findings: The applicant proposes to have an open curved storage shelter. Details of materials and construction must be provided, including a note that the building is permanent.
- Outdoor storage shall be clearly accessory to the principal office use.*
Findings: The proposed storage yard will be the primary use of the site as no office is proposed; however, we believe that, because the site will not be open to the public and the proposed re-use of a vacant site will be beneficial, the Planning Commission may choose to waive this standard.
- Only products, materials and equipment owned and operated by the contractor shall be stored. All motorized equipment shall be stored on a paved surface.*
Findings: Applicant intends to store landscape and construction equipment, including motorized equipment and vehicles. A storage shelter will be placed on a 40 x 80 ft concrete pad, with an asphalt drive leading to it from the gate. This standard has been met. Please direct further questions regarding this item towards the applicant.
- Storage shall not be located within the required front yard.*
Findings: Storage is not proposed to be within the required front yard. Applicant must provide a note on the site plan indicating their agreement to this term.
- Materials shall not be stored within any required parking or loading spaces.*
Findings: Applicant must provide note on site plan indicating their agreement with this term.
- Storage shall not impede the access of fire and emergency vehicles and personnel.*
Findings: The applicant will need to add a statement signifying their agreement with this: without agreement, this finding is not supported.
- Storage material shall not exceed 25 feet in height.*
Findings: The applicant will need to add a statement signifying their agreement with this: without agreement, this finding is not supported.



8. *All storage shall be screened from public streets and abutting property by an eight-foot tall masonry retaining wall or an eight-foot wide landscaped berm capped with evergreen material and secured with an eight-foot tall opaque fence located on the inside of the berm.*

Findings: The site plan indicates “industrial fence screening”, however, no further details have been provided regarding the material type for this proposed screening fence. As previously noted, an eight (8) foot tall masonry retaining wall is required to be installed in accordance with the provisions of the Zoning Ordinance.

9. *The location and size of storage areas, thorough written description of materials of stored materials, plans, sections and elevations of the screening method describing in detail the material and height shall be submitted as part of the information required for site plan review.*

Findings: The applicant should provide confirmation that they are aware of this stipulation.

10. *Loading and unloading of equipment shall not be permitted within the right-of-way or unenclosed portion of the site.*

Findings: The applicant should provide confirmation that they are aware of this stipulation.



Site Plan Review

Standards for Site Plan Approval are set forth by [Section 155.287](#). This project is reviewed against the City's [Zoning Ordinance](#), [Master Plan](#), existing site conditions, and sound planning and design principles. We offer the following comments for your consideration; underlined items require additional discussion and/or identify outstanding items to be addressed.

1. ZONING & USE (§155.047)

Findings:

The site is in the M-1, Light Industrial District; the M-1 Light Industrial District intends to provide locations for planned industrial development, including planned industrial park subdivisions. Permitted activities or operations shall produce no external impacts that are detrimental in any way to other uses in the district or to properties in adjoining districts. Accordingly, light industrial, research, and related office uses permitted in this district should be fully contained within well-designed buildings on amply landscaped sites, with adequate off-street parking and loading areas, and with no outside storage (except through special land use approval). Heavy industrial uses, such as those involving the processing of raw material for shipment in bulk form to be used at another location, shall not be permitted in this district.

The following chart provides information on existing land use and current zoning of the subject site and surrounding uses.

Location	Existing Land Use	Future Land Use	Zoning
Subject Site	Vacant	Industrial	M-1, Light Industrial District
North	Rail freight line Undeveloped parcel north of rail line.	Rail line. Town Center north of rail line	M-1, Light Industrial District TCD, Town Center District
East	One Residential home and Vacant parcel (Hickory Street)	Industrial	M-1, Light Industrial District
South	One Residential home and Vacant parcel (Cherry Street)	Industrial	M-1, Light Industrial District
West	Vacant/undeveloped land	Industrial	M-1, Light Industrial District



2. DIMENSIONAL STANDARDS (§155.061)

Site elements and the relationship between the various uses on the site shall be designed and located so that the proposed development is aesthetically pleasing and harmonious with adjacent existing and prospective development of contiguous properties and the general planning area. Buildings and structures will meet or exceed setback standards, build-to lines, height and other dimensional standards, and placed to preserve environmentally sensitive areas.

Findings: The location of the proposed storage yard is appropriate to maximize access from Ash Street. The plan generally demonstrates compliance; however, structure height and maximum lot coverage compliance remains unclear at this time. The dimensional requirements for the M-1 District and the proposed dimensions are listed in the table below:

Dimensional Measurement	Required	Proposed	Comments
Min. Front Yard Setback	60 ft.	> 60 ft.	In compliance
Min. Side Yard Setback (north)	20 ft	20 ft.	In compliance
Min. Side Yard Setback (south)	20 ft.	20 ft.	In compliance
Min. Rear Yard Setback	60 ft.	**	In compliance
Max. Height	40 ft., however, Special Land Use standards indicate that storage cannot be beyond 25 ft.	Elevations have not been provided	<u>Applicant needs to provide information that the storage structure will not exceed 25 ft. in height.</u>
Max. Lot Coverage	Based on off-street parking, loading, greenbelt screening, and setbacks.	*	-

* The minimum lot area and width, and the maximum percent of building coverage shall be determined on the basis of required off-street parking, loading, greenbelt screening, and yard setbacks as provided herein for the respective uses and use districts.

**As it stands, there is no rear yard – the subject site has frontage on two streets (two front yards).

3. ARCHITECTURAL FEATURES (§155.072)

Building design and architecture shall relate to and be harmonious with the surrounding neighborhood in terms of texture, scale, mass, proportion, materials, and color.

Findings: Not enough information regarding the proposed accessory storage shed has been provided to determine compliance with all standards. Relevant architectural standards are detailed below.

Massing. *Structures with walls greater than 1,500 square feet must incorporate building setbacks of at least 3 feet to separate the wall into facade planes not greater than 500 square feet. In addition, façades shall incorporate canopies, fascias or other distinguishing entrance features to the maximum extent feasible.*

- Renderings or drawings must be provided for review by the City Planning staff.



Exterior Colors / Materials. *The color of the exterior materials must be of low-reflectance, subtle, neutral colors. The use of high-intensity or reflectance, and fluorescent colors is prohibited. Building trim may exhibit brighter colors, except neon tubing is prohibited.*

- Color renderings, elevations, or material/color details must be provided for review by the City Planning staff.

4. IMPACT ON PUBLIC SERVICES

Utility services, including sanitary, water and storm runoff, shall not exceed the existing or planned capacity of such services, and shall be developed in the best interest of the public health, safety, and welfare of the community. The proposed development shall be designed and located so that public services, including streets and sidewalks, police and fire protection, and public schools have sufficient capacity to properly serve the development, and so that such services will not be adversely affected by the proposed development.

Findings: This item is subject to approval by the City Engineer and City Fire Chief.

5. VEHICULAR ACCESS & CIRCULATION

The vehicular circulation system planned for the proposed development shall be in the best interest of the public health, safety, and welfare in regard to on site circulation, onsite parking, the overall circulation of the neighborhood and community, egress/ingress to the site, vehicular turning movements related to parking areas, loading areas, street intersections, street gradient, site distance and potential hazards to the normal flow of traffic both on and off site.

Findings: The proposed improvements to the site include a 12-foot-wide asphalt drive, which will utilize the existing concrete drive approach on the site. Parking and loading are discussed in detail under Item #10. Further analysis of vehicular circulation is subject to the review of the City Engineer and Wayne County Road Commission.

6. PEDESTRIAN ACCESS & CIRCULATION

The pedestrian circulation system planned for the proposed development shall be in the best interest of the public health, safety, and welfare in regards to on site circulation and the overall pedestrian circulation of the neighborhood and community.

Findings: While the applicant proposes a small strip of new sidewalk, further improvements would enhance connectivity. We recommend that the applicant include a 5-foot sidewalk along the property's frontage on both Ash and Hickory Streets to improve pedestrian access to the site.

7. EMERGENCY ACCESS & VULNERABILITY TO HAZARDS

All sites and buildings must be designed to allow convenient and direct emergency access, and the emergency response needs of the proposed use(s) shall not exceed the City's emergency response capabilities.

Findings: This item is subject to approval by the City Engineer and City Fire Chief.



8. LANDSCAPING (§155.073; 155.080)

Proposed landscaping must be appropriate and of such size, location, height and quantity to ensure that the proposed development is not objectionable to nearby properties by reason of noise, fumes, flash of lights from automobiles or other lighting, interference with an adequate supply of light and air, an increase in the danger of fire, or other public safety hazard.

Findings: The required and proposed site landscaping is detailed in the table on the following page. Due to the scope of this project and the proposed use, we recommend waiving all parking lot landscaping requirements.

Criteria	Required	Proposed	Comments
Right-of-Way: Deciduous Trees	1 per 35 ft. (344 ft. / 35 ft.) = 10 trees	None Provided	<u>The applicant must provide 7 trees in the Ash St ROW and 3 trees in the Hickory St ROW</u>
Right-of-Way: Ornamental Trees	1 per 75 ft. (344 ft. / 75 ft.) = 5 trees	None Provided	<u>The applicant must provide 3 trees in the Ash St ROW and 2 trees in the Hickory St ROW</u>
Irrigation	Automatic or drip irrigation required	Undetermined	<u>The applicant must provide an irrigation plan.</u>

9. SCREENING AND BUFFER (§155.074; 155.075)

Proposed screening and buffer areas shall be appropriate and of such size, location, height and quantity to ensure that the proposed development will not be objectionable to nearby development or properties by reason of noise, fumes, flash of lights from automobiles or other lighting, interference with an adequate supply of light and air, an increase in the danger of fire, or other public safety hazard. Screening shall be provided in a manner that adequately buffers adjacent land uses and screens off-street parking, mechanical appurtenances, loading and unloading areas and storage areas from adjacent residential areas and public rights-of-way.

Findings: All storage shall be screened from public streets and abutting property by an eight-foot-tall masonry retaining wall or an eight-foot wide landscaped berm capped with evergreen material and secured with an eight-foot tall opaque fence located on the inside of the berm. The site plan indicates “industrial fence screening”, however, no further details have been provided regarding the material type for this proposed screening fence. As previously noted, an eight (8) foot tall masonry retaining wall is required to be installed in accordance with the provisions of the Zoning Ordinance.

10. PARKING & LOADING (§155.077; 155.078; 155.079)

The parking pattern proposed shall be in the best interest of the public health, safety, and welfare in regard to size, layout and quantity, and the location of parking and loading facilities will not be detrimental to nearby developments, properties, or public streets.

Findings: The parking requirement for contractor yard storage requires one (1) parking space per company vehicle plus 1 per tractor, trailer, or similar vehicle. The site plan indicates the equipment storage yard is not open to the public and is for personal storage only, however, no parking spaces are provided. The size of the site



suggests that it is reasonable to expect the inclusion of one parking space. The applicant needs to delineate a parking space on the site plan.

The site plan indicates existing asphalt millings on the subject parcel. The applicant will need to provide further clarification as to if these millings will remain or be replaced by a lawn. If the millings are to remain, the applicant will need to provide confirmation that the millings will not be used for parking and or storage of vehicles.

11. EXTERIOR LIGHTING AND SECURITY CAMERAS (§155.076)

All exterior lighting fixtures shall be designed, arranged, and shielded to minimize glare and light pollution, prevent night blindness and vision impairments, and maximize security. For all non-residential commercial and business properties, security cameras shall be installed, maintained and approved by the City Police Chief.

Findings:

Exterior Lighting. The applicant must provide a Photometric Plan, including lighting at the gate entrance to ensure safety and that site lighting does not act as a nuisance to future land development.

Additionally, the applicant must provide cut sheets to the city demonstrating that the following is met:

- Only white, non-glare lighting shall be permitted.
- Lighting shall be placed and shielded to direct the light onto the site and away from adjoining properties.
- Lighting shall be shielded so that it does not cause glare for motorists.
- Lights shall be recessed into the fixture so that bulbs or elements are not visible from adjoining properties.

The following table details the maximum illumination permitted (levels noted in footcandles “fc.”) and the maximum height permitted, in comparison with that proposed on the site:

Standards	Standard	Proposed	Comments
Max. Illumination	20 fc.	-	<u>Applicant needs to provide.</u>
Max. Illumination at the Property Line			
For uses adjacent to residential (zoned or used) property	0.1 fc.	n/a	-
For uses adjacent to non-residential property	0.3 fc.	-	<u>Applicant needs to provide.</u>
Max. Lighting Fixture Height			
For uses adjacent to residential (zoned or used) property	20 ft.	n/a	-
For uses adjacent to non-residential property	25 ft.	-	<u>Applicant needs to provide.</u>



Security Cameras. The applicant needs to provide a Security Plan:

- Security cameras shall be installed, maintained and approved by the City Police Chief;
- All security cameras shall be high-definition with a minimum resolution of 1080p and night vision with at least 120 concurrent hours of digitally recorded documentation;
- The security cameras shall be in operation 24 hours a day, seven days a week, and shall be set to maintain the record of the prior 120 hours of continuous operation;
- An alarm system is required that is operated and monitored by a recognized security company; and
- Security cameras shall be placed to cover the entire site and placement shall be approved by the City Police Chief.

NOTICE OF PUBLIC HEARING
CITY OF INKSTER, WAYNE COUNTY, MICHIGAN

RE: Case No. 21-23 (SLU)

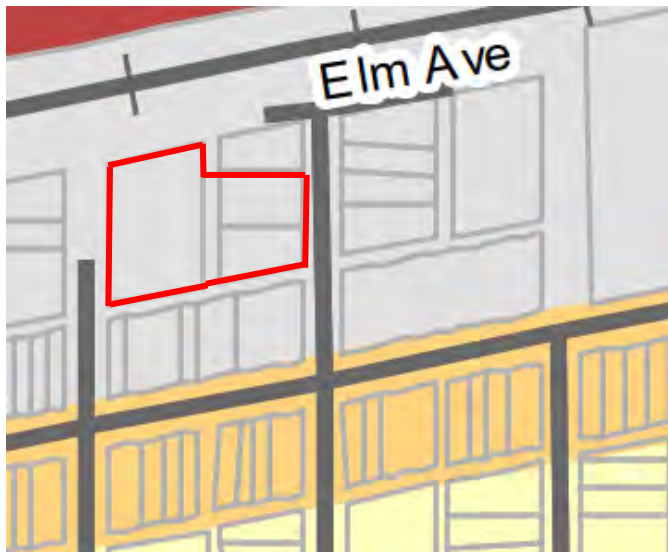
In accordance with and pursuant to the Michigan Zoning Enabling Act, Act 110 of 2006, as amended, notice is hereby given that the City of Inkster Planning Commission will hold a public hearing on **Monday, June 27, 2022, at 6:30 p.m.** Information to join the meeting can be found at City Hall located at 26215 Trowbridge, Inkster, Michigan, 48141 or at www.cityofinkster.com. The purpose of this hearing is to consider a special land use to allow a storage yard in the M-1 Light Industrial District at 2911 Ash Street. Anthony Pasley is the applicant. The subject property is located on the east side of Ash Street, west of Hickory Street, north of Cherry Street and is legally described as follows:

TAX ID: 44-010-01-0017-000 ; 44-010-01-0022-000 ; 44-010-01-0021-000

25P17 TO 20 LOTS 17 TO 20 INCL ALSO ADJ VAC ELM ST 50FT WD ALSO W 1/2 VAC ALLEY ADJ TO LOT 17 ALSO N 1/2 VAC ALLEY ADJ TO LOT 20 WEST DEARBORN SUB T2S R9E L50 P32 WCR ;

25P22 23 LOT 22 AND 23 WEST DEARBORN SUB T2S R9E L50 P32 WCR ;

25P21 LOT 21 AND N 1/2 ADJ VAC ALLEY ALSO E 1/2 VAC ALLEY WEST DEARBORN SUB T2S R9E L50 P32 WCR



↑
NORTH

Public comments are invited. Persons unable to attend the public hearing may send their comments in writing to the attention of the City of Inkster Planning Department, 26215 Trowbridge, Inkster, Michigan, 48141. Comments will be received through 12:00 noon, Monday, June 20, 2022. Please reference Case No. 21-23 (SLU) in all correspondence.

The City of Inkster will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and audio tapes of printed materials being considered at the public hearing to individuals with disabilities upon five business days written notice. Individuals with disabilities requiring auxiliary aids or services should contact the City of Inkster at 313.563.9770.

Verna Chapman
Inkster City Clerk

PUBLISH BY: June 9, 2022

Planning Department • 313.563.9760

EQUIPMENT STORAGE YARD

2911 ASH STREET

INKSTER, MICHIGAN

LEGAL DESCRIPTION:

LOTS 17-23, INCLUSIVE, ALSO ADJACENT VACATED ELM STREET, 50 FEET WIDE, ALSO THE VACATED ALLEY BETWEEN THE LOTS, AND THE NORTH 1/2 OF THE ADJACENT VACATED ALLEY TO LOTS 20 AND 21 "WEST DEARBORN SUBDIVISION" OF LOTS 587-599-624 TO 646-671 TO 689-714 TO 730-755 TO 761 AND O.L.'S C TO K, ALL INCLUSIVE, OF THE WOLVERINE TRACTOR SUB. OF PART OF THE E. 1/2 OF SECTION 25, T.2S., R.9E., LYING SOUTH OF THE MICH. CENT. R.R., NANKIN TOWNSHIP (NOW CITY OF INKSTER), WAYNE COUNTY, MICHIGAN, AS RECORDED IN LIBER 50 OF PLATS, PAGE 32, WAYNE COUNTY RECORDS.

DATA:

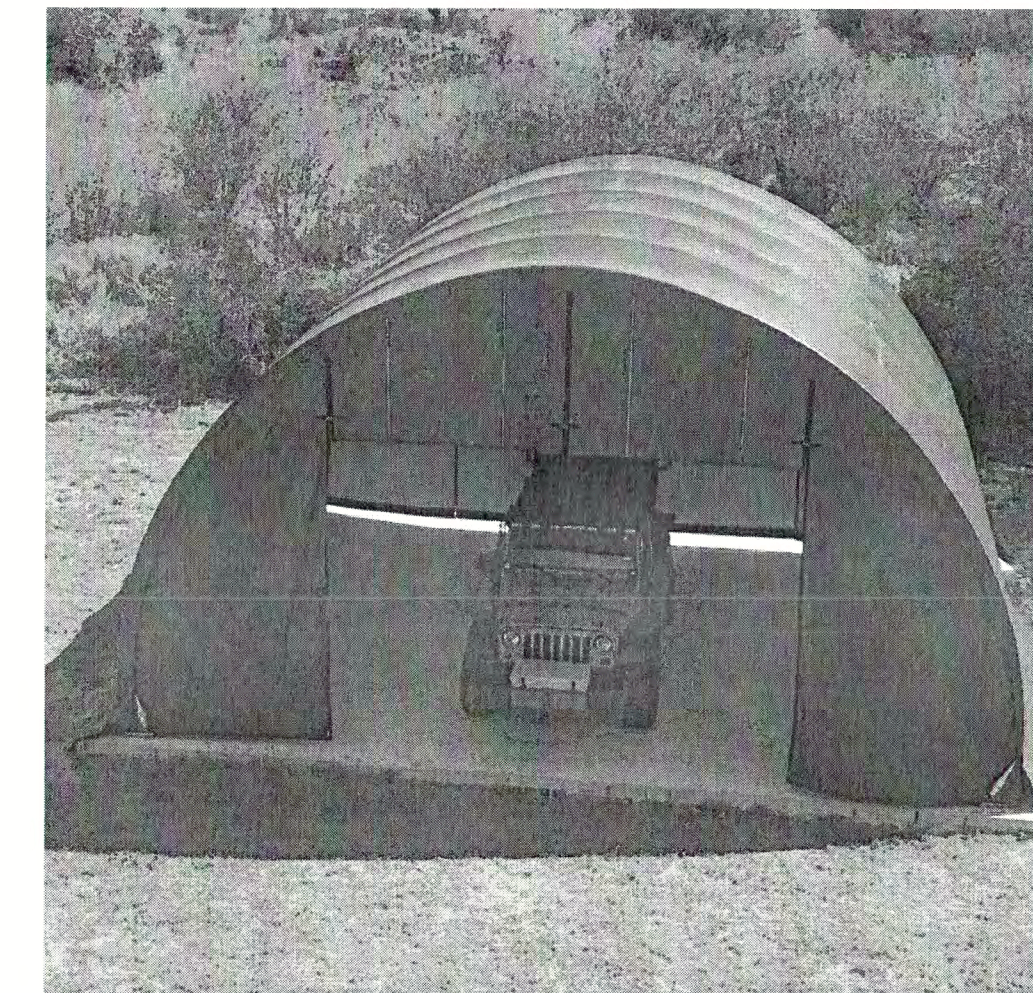
GROSS SITE AREA = IRREGULAR
USE GROUP = GROUP S (STORAGE)
ZONING = M-1

CODE COMPLIANCE:

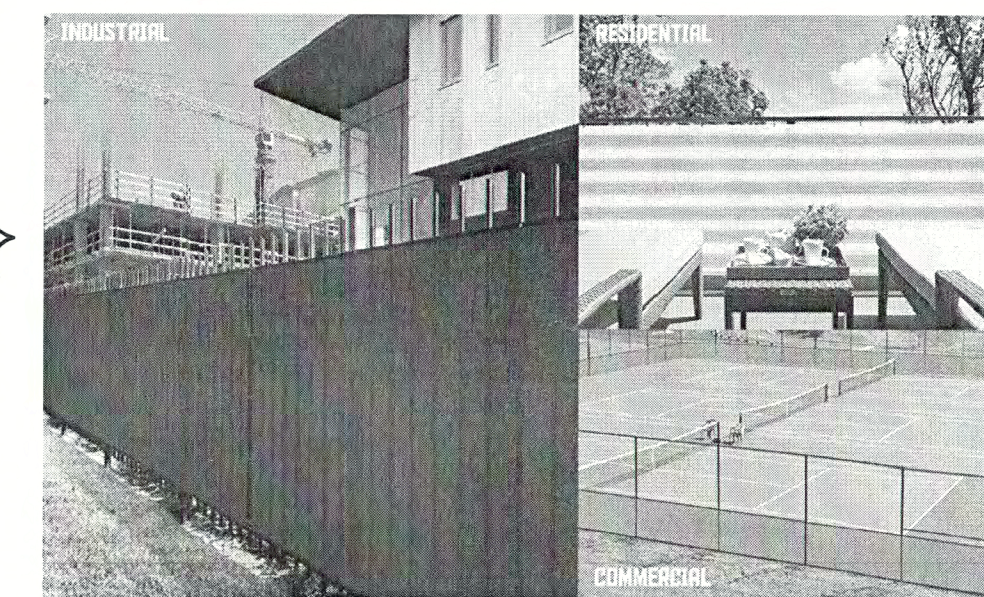
MICHIGAN BUILDING CODE 2015

SCOPE OF WORK:

- EQUIPMENT STORAGE YARD IS NOT OPEN TO THE PUBLIC.
- FOR PERSONAL STORAGE ONLY** OF LANDSCAPE AND CONSTRUCTION EQUIPMENT.
- NO VEHICULAR PARKING REQUIRED FOR EMPLOYEES.



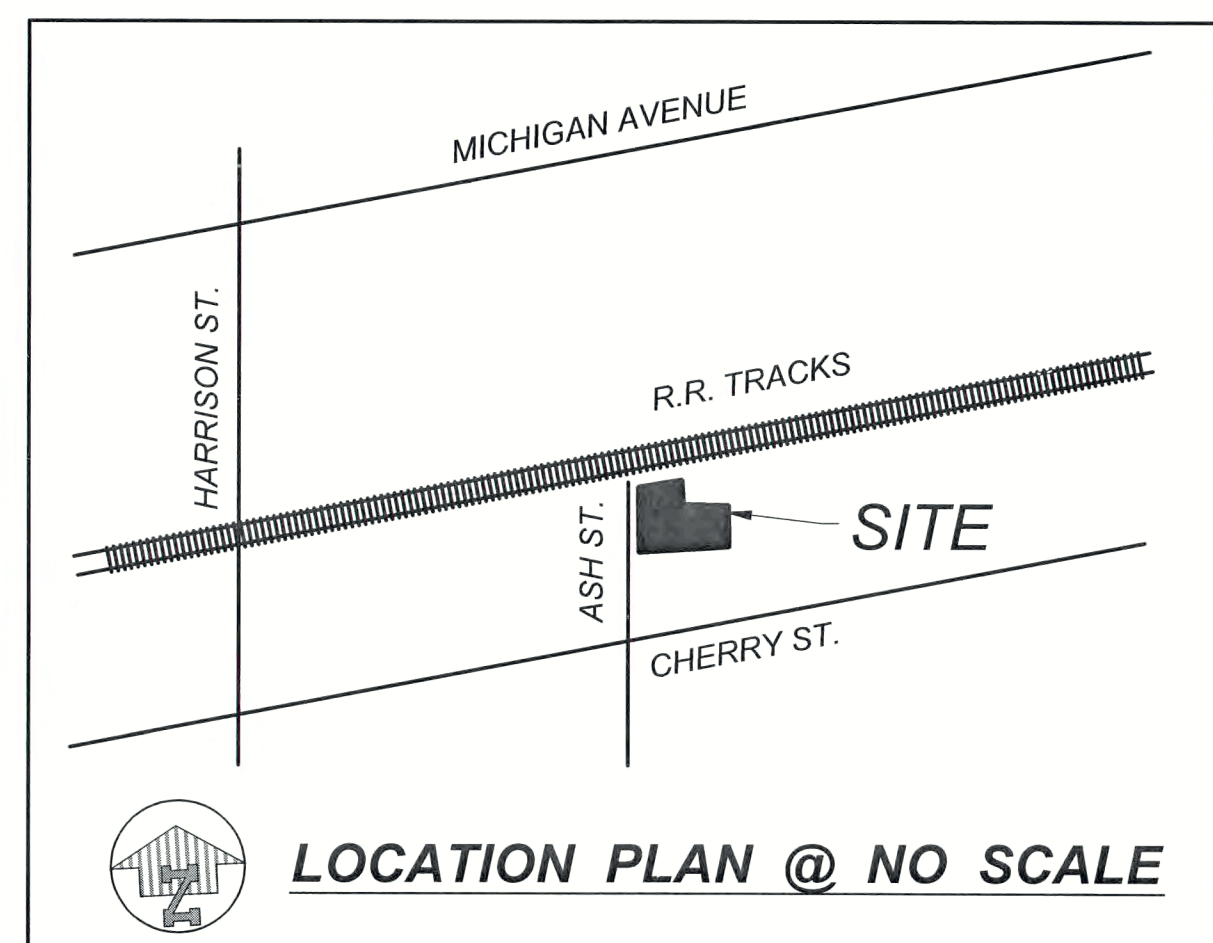
CURVED STORAGE SHELTER



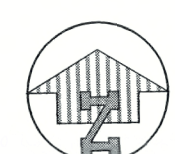
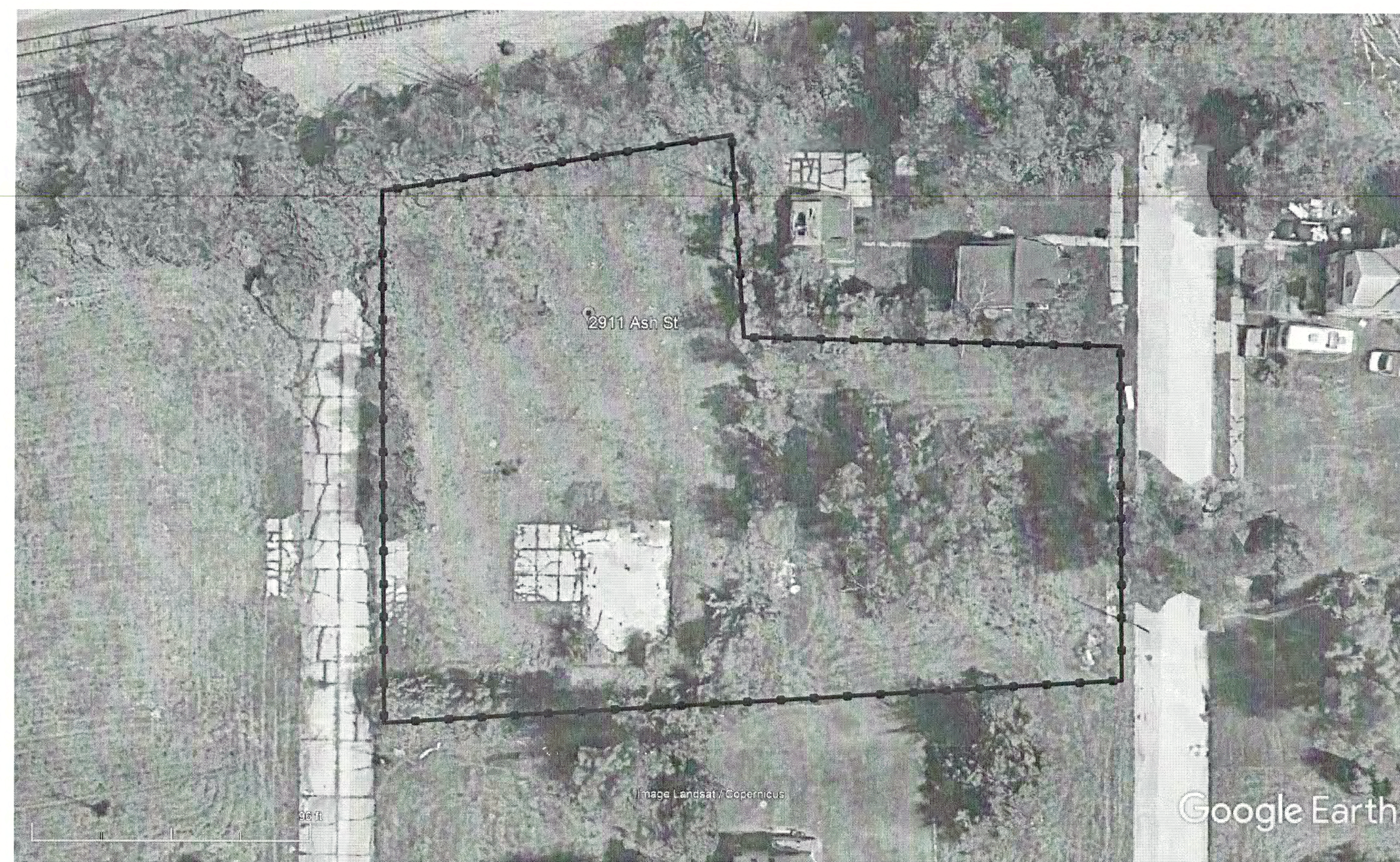
INDUSTRIAL FENCE SCREENING

SETBACK REQUIREMENTS:

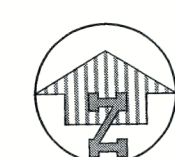
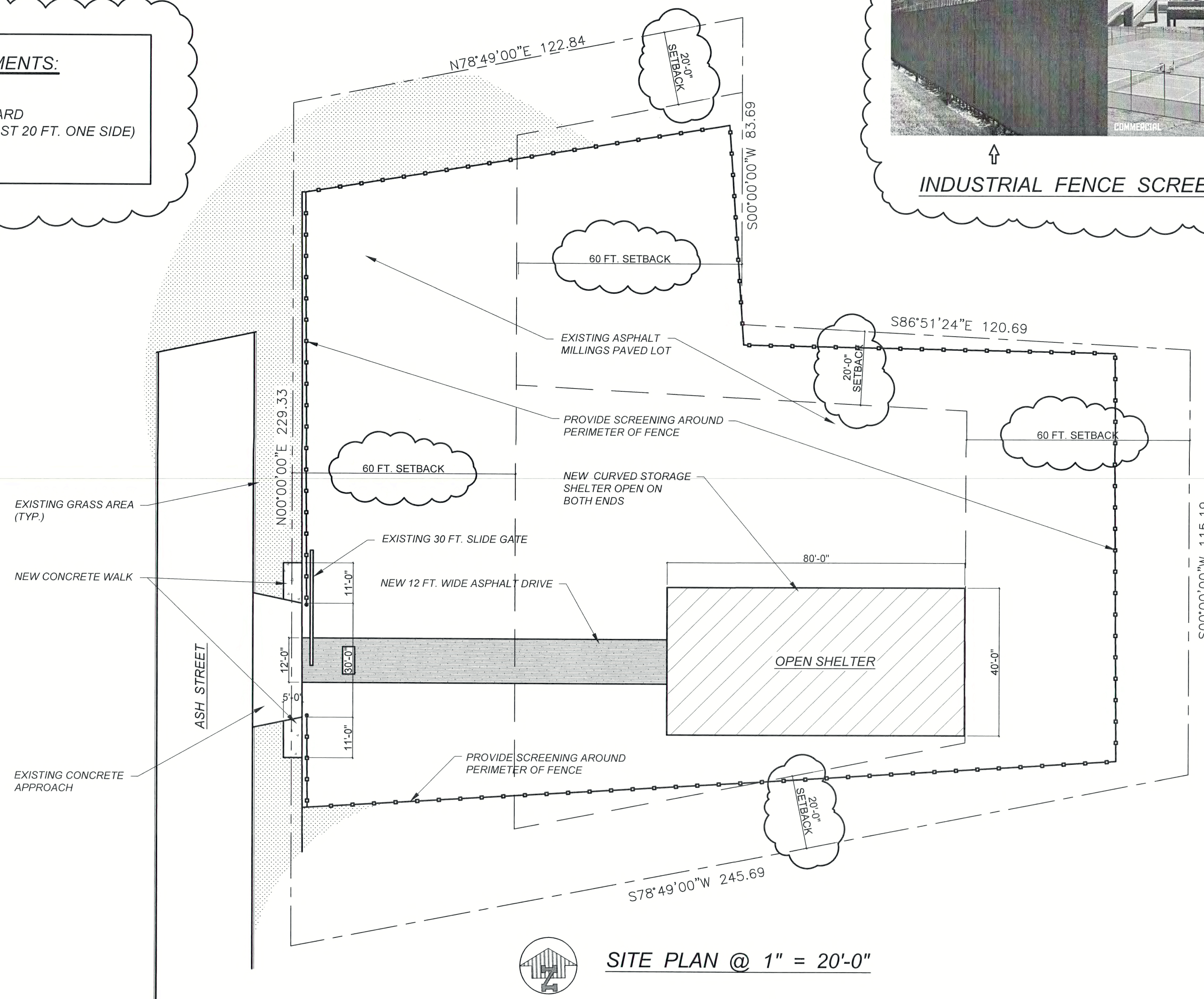
60 FT. FRONT YARD
40 FT. TOTAL SIDE (LEAST 20 FT. ONE SIDE)
60 FT. REAR



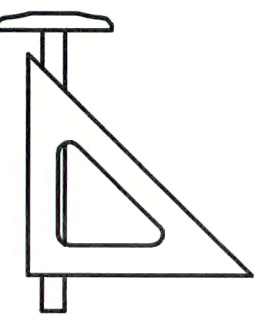
LOCATION PLAN @ NO SCALE



AERIAL VIEW @ NO SCALE



SITE PLAN @ 1" = 20'-0"



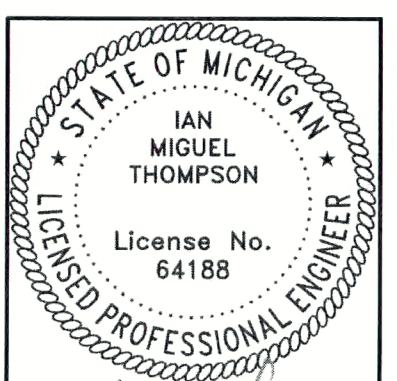
SKETCH DESIGN GROUP
26520 GRAND RIVER
STE. 101
REDFORD, MI 48240
(248)-890-3036
Email: sketchtimedesign@gmail.com

ICS

INDIGOSHORES CONSULTANT SERVICES
26520 GRAND RIVER, STE. 101
REDFORD, MI 48240
954.804.3955

Email: ian@indigoshorescs.com

ARCHITECT / ENGINEER SEAL:



EQUIPMENT STORAGE YARD
2911 ASH STREET
INKSTER, MICHIGAN

DRAWN		DAVID
CHECKED		
SCALE		SHOWN
DATE	REV #	ISSUED FOR
02/11/22		PLAN REVIEW
03/07/22	1	REVISION
PROJECT #		211286

SHEET NO.

A000



MCKENNA

June 15, 2022

Planning Commission
City of Inkster
26215 Trowbridge
Inkster, MI 48141

Subject: Special Land Use and Site Plan Review for a Marijuana Provisioning Center, Adult Use Retailer and General Retail
Location: 29899 Michigan Ave. (Parcel ID#s:44-012-99-0016-003; 44-012-99-0016-004; 44-012-99-0016-001)
Zoning: B-3, General Business District
Project #: SPR 22-15; SLU 22-16

Dear Commissioners,

We have reviewed the application for preliminary site plan and special land use consideration. Najim Saymuah of CDPA Architects and Planners (the "Applicant") proposes to construct a marijuana provisioning center and adult use retailer, as well as two other general non-marijuana retail operations on the 3.017-acre site, located south of Michigan Avenue, between Henry Ruff Road and Middlebelt Road.



Subject site

HEADQUARTERS
235 East Main Street
Suite 105
Northville, Michigan 48167

☎ 248.596.0920
✉ 248.596.0930
MCKA.COM

Communities for real life.



PROJECT SUMMARY

The proposed project seeks to combine three vacant lots along Michigan Avenue into one 3.017-acre site. The development will occur in three phases:

Phase 1: Re-use the existing 1,600 sq ft building as a provisioning center and adult use retailer;

Phase 2: Construct an additional 5,000 sq ft building for general retail and provisioning center expansion; adjoin building with existing Phase 1 building;

Phase 3: Construct an additional 2,480 sq ft building for a drive-thru restaurant.

The Applicant expects to have Phase 1 completed as soon as possible, Phase 2 completed by 2023 and Phase 3 completed by 2025. The site will have side and rear parking lots and a detention pond on the north side of the site, abutting Michigan Ave. The site is zoned for B-3, General Business District in which marijuana-related uses require Special Land Use permits. The applicant seeks preliminary Site Plan approval for all three phases of the project. The applicant also seeks a recommendation of approval for a Special Land Use permit. City Council has final approval on Special Land Uses.



RECOMMENDATIONS

Special Land Use Consideration. Pending any comments from the public during the public hearing, we recommend the Planning Commission consider the following motion:

I move to recommend approval of the proposed special land use for a marijuana provisioning center at 29899 Michigan Ave (Parcel ID #s 44-012-99-0016-003; 44-012-99-0016-004) to City Council, with the required conditions listed below;

I move to recommend approval of the proposed special land use for a marijuana adult use retailer at 29899 Michigan Ave (Parcel ID #s 44-012-99-0016-003; 44-012-99-0016-004) to City Council, with the required conditions listed below;

I move to recommend approval of the proposed special land use for a separate drive-thru restaurant at 29899 Michigan Ave (Parcel ID # 44-012-99-0016-001) to City Council, with the required conditions:

- 1. Abide by all requirements indicated in the Site Plan Review, including but not limited to providing a Security Plan and hours of operation in compliance with Chapter 124 requirements;*
- 2. Add "No Smoking" signs on the site plan;*



3. *Add a note agreeing to inspections upon request by the Building Official, Fire Department and law enforcements officials;*
4. *Add a note agreeing to quarterly inspections;*
5. *Add a note indicating that all marijuana related activity shall be done indoors;*
6. *Add a note agreeing to maintain a log book and/or database identifying by date the amount of medical marijuana on the premises for each qualifying patient/caregiver;*
7. *Add a note indicating that all marijuana will be contained within an enclosed, locked facility;*
8. *Add a note indicating that the sale, consumption or use of alcohol or tobacco products on the premises is prohibited;*
9. *Reduce the proposed driveway width to be 30 ft or less;*
10. *Provide an outdoor dining area to the south of the proposed detention pond, as indicated in the Site Plan Review; and*
11. *Consider providing several picnic tables in front of the drive-thru restaurant.*

Site Plan Consideration. Provided there is consensus on the Commission regarding the special land use review, we recommend the Planning Commission consider the motion stated below. The list of requirements contains items that can be reviewed administratively; no change will significantly alter the design presented to Planning Commission.

I move to approve the proposed marijuana provisioning center, marijuana adult use retailer and general retail facility at 29899 Michigan Ave (Parcel ID #s 44-012-99-0016-003; 44-012-99-0016-004; 44-012-99-0016-001), provided that special land use approvals are granted by City Council, and contingent on the following:

1. *Receive City approval and combine the three parcels into one parcel;*
2. *Label the west and east building elevations on sheet A-03 correctly;*
3. *Correct the building elevations on sheet A-02 to match the same remodeled building design for Building #1 on sheet A-01;*
4. *Provide greater architectural variation on the front façade of Building #2 (north elevation, facing Michigan Avenue);*
5. *Provide greater architectural detail on the rear and east (drive-thru) façades of Building #3;*
6. *Provide information on the new paint and siding colors for Building #1 and note on the site plan;*
7. *Remove the note from the west elevation of Building #2 indicating that "cement fiber panels Nichiha" will be used;*
8. *Provide calculations of the total glass area to show that the minimum of 30% is provided;*
9. *Provide information on if roof mounted equipment will be installed, if installed, it must be screened and noted on site plan;*
10. *Remove a parking space and provide a dedicated pedestrian crosswalk with ladder striping to Building #3 (across the drive-thru lane) from the parking area;*
11. *Add a 5 ft. sidewalk from the Michigan Avenue sidewalk to the building entrance (along the east of the detention pond);*
12. *Provide an outdoor dining area directly south of the detention pond, the dining area must be fenced and contain seating to be pedestrian friendly;*
13. *Perform all of the listed requirements in the Landscaping section:*
 - a. *Right of Way: Deciduous trees: Re-locate 11 trees within the right-of-way;*
 - b. *Right of Way: Ornamental trees: Re-locate 5 trees within the right-of-way;*



- c. *Planted yard area trees: Provide total planted yard area and then plant 1 tree per 3,000 SF;*
- d. *Parking Lot Trees: It is recommended to plant an additional 6 deciduous trees around Phase 3 building perimeter and 5 additional ornamental trees in the front of Phase 1 building;*
- e. *Parking Lot: Terminal landscape island: Add landscape island by SE dumpster and landscape the lawn areas adjacent to barrier free parking in front of Phase 3 building;*
- f. *Parking Lot: Divider shrubs: Add 5-6 additional shrubs to the divider;*
- g. *Parking Lot: Wheel stops: Change parking spaces to be 20 ft long as opposed to proposed 18 ft long;*
- h. *Parking Lot: Perimeter deciduous trees: Plant additional 8 trees;*
- i. *Parking Lot: Perimeter ornamental trees: Plant additional 10 trees ;*
- j. *Parking Lot: Perimeter shrubs: Plant additional shrubs to create a continuous screen; and*
- k. *Irrigation: Provide an irrigation system and detail on site plan where it will be located;*
- 14. *Provide information on the material of the dumpsters, including the gates and enclosure height;*
- 15. *Remove four parking spaces and enhance the site plan via the drawing in the site plan review;*
- 16. *Identify a second loading zone for Phase #3, behind the restaurant;*
- 17. *Receive waiver from Planning Commission to have 10 ft.x35 ft. loading zones;*
- 18. *Increase the NE maneuvering lane to be 24 ft between the northern curb line and the terminal landscape island;*
- 19. *Remove existing mounted roof lighting from Phase 1 building seeing as these lights are not included in the Photometric Plan;*
- 20. *Provide a lighting fixture cut sheet with required details;*
- 21. *Provide a Security Plan with the required details;*
- 22. *Receive approval from the City Engineer and Fire Chief on Impact of Public Services; Vehicular Access and Circulation; Emergency Access and Vulnerability to Hazards; and*
- 23. *Address any other comments raised by the Design Review Team.*

Respectfully submitted,

McKENNA

Mara S. Braciszewski
Associate Planner



Special Land Use Review

Standards for Special Land Use are set forth by [Section 155.289](#). This project is reviewed against the City's [Zoning Ordinance](#), [Master Plan](#), existing site conditions, and sound planning and design principles. We offer the following comments for your consideration; underlined items require additional discussion and/or identify outstanding items to be addressed.

1. HARMONY WITH MASTER PLAN

Will be harmonious and in accordance with the general objectives of the Master Land Use Plan.

Findings: The 2017 Master Plan Future Land Use Map designates this area as *Regional Commercial*, which intends for a wide variety of retail and commercial uses that services Inkster and surrounding communities. Many of the business uses permitted in the district are thoroughfare oriented and generate greater volumes of traffic and activities, which must be specifically considered to minimize adverse effects on adjacent properties. Permitted uses include retail, restaurants, service establishments and entertainment facilities. A provisioning center and adult use retailer are considered regional uses, as they serve a larger population than the immediate neighborhood and are more suited to Inkster's more intensive commercial areas, such as areas within the B-3 District; this requirement appears to be met.

However, it should be noted that the 2017 Master Plan falls silent on the issue of marijuana establishments and needs to be updated. Marijuana establishments are only mentioned three times within the Master Plan: two comments support marijuana businesses and one comment offers concern. Given that the Master Plan was last updated in 2017, it would be advantageous for the City to undertake an update to capture the current perspective of the community on future development desires and needs.

2. HARMONY WITH EXISTING CHARACTER

Will be designed, constructed, operated, and maintained in harmony with the existing and intended character of the general area and will not change the essential character of the area.

Findings: The proposed project is embedded within a regional commercial corridor and involves the sale of general retail, including both marijuana and non-marijuana businesses. Since the project has a focused retail component, it will not change the existing character of the area. Furthermore, the front setback of the building will be significantly reduced in Phase 3 of the project design (from 117 ft to 72 ft), thereby creating more of an interactive experience along Michigan Ave.

3. IMPROVEMENT TO THE COMMUNITY

Will represent a visual, physical and economic improvement to the property in the immediate vicinity and to the community as a whole.

Findings: The highest scoring objective received from Public Input in the 2017 Master Plan *Goals Priorities Survey* is to “retain business that provide tax base and job opportunity”. The proposed project will activate a vacant, underutilized site, which will increase the City's tax base and provide job opportunities. Another goal is to encourage entrepreneurship and new retail uses. The proposed project provides multiple retail uses and small-scale entrepreneurship. Furthermore, the proposed location of the retention pond along Michigan Ave acts as a water feature that enhances the site design and acts as a physical improvement to the community. However,



consideration should be given to any perceived social costs of opening marijuana businesses; which can be monitored by updating the community feedback portion of the Master Plan.

4. ADEQUATE PUBLIC SERVICES AND FACILITIES

Will be served adequately by essential public services and facilities, such as streets, drainage structures, sewer and water infrastructure, police and fire protection and refuse disposal, or that persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately for such services.

Findings: As a developed site, public utilities are available; we defer to the city engineer for any additional comments.

5. SMOKE, FUME, GLARE, NOISE, VIBRATION OR ODOR POLLUTION

Will not involve uses, activities, processes, materials, equipment, and conditions of operation that will be detrimental to any person or property or to the general welfare by reason of excessive smoke, fumes, glare, noise, vibration, odors, traffic generation or other nuisances generated by the proposed use.

Findings: The proposed project is within the *Regional Commercial* area of the City, which is an area that can accommodate a greater amount of traffic generation, including drive-thru restaurants. All marijuana related activities will occur inside the building, and since it involves the retail of marijuana, not the cultivation or growing of marijuana, odors and fumes are not a challenge. In addition, the applicant’s site plan is required to abide by Zoning Ordinance standards, which diminishes nuisances related to lighting and security. For example, the proposed project is required to submit a Security Plan to be approved by the Police Department. The Security Plan enhances the safety of the site. However, marijuana businesses are cash based and federally prohibited. Members of the community could be concerned that large on-site cash stocks could be targets for criminals.

The applicant must provide the required Security Plan and more information regarding hours of operation for the marijuana related businesses. Marijuana related business must abide by City Ordinance Chapter 124 Sec. 124.11 Hours of Operation. See table below.

	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
Required hours of operation	9am-9pm	9am-9pm	9am-9pm	9am-9pm	9am-9pm	9am-6pm	10am-6pm

6. REDUCTION OF ECONOMIC VIABILITY

Will not erode or reduce the economic viability of other existing land uses. Consideration shall be given to the compatibility of other existing uses with the proposed use and maintaining land values within the City.

Findings: The subject site is currently vacant and does not provide economic viability to the surrounding existing land uses. The proposed uses are anticipated to increase economic viability. However, the proposed site is within the close proximity to other proposed marijuana businesses. Too many similar uses concentrated in one area may be difficult for business survival.

7. EXCESSIVE OR ADDITIONAL COSTS TO PUBLIC SERVICES



Will not create excessive additional requirements at public costs for public facilities and services and will not be determinate to the economic welfare of the community.

Findings: The proposed use is not anticipated to create additional public costs; we defer to the city engineer for any additional comments.

8. CONSISTENT WITH INTENT OF ZONING ORDINANCE

Will be consistent with the intent and purpose of the Zoning Ordinance and comply with all specific standards established for each use.

Findings: The reuse of the existing commercial building for retail is supported by the intent of the B-3 General Business District; this requirement is met. Furthermore, the Site Plan review enforces zoning ordinance standards and guides the site to be in compliance with the community's vision for a healthier, safer city. Site Plan Review criteria needs to be met to meet this requirement.



Additional Use Standards Review

Additional use standards for adult use marijuana retailers and medical marijuana provisioning centers are prescribed in the Zoning Ordinance, as noted in the table below. We offer the following comments for your consideration; underlined items require additional discussion and/or identify outstanding items to be addressed.

Use	Zoning Ordinance Use Standards – Applicable Sections
Adult use marijuana retailers	155.146, 155.150(E)
Medical marijuana provisioning centers	155.146, 155.148
Drive-thru facility	155.130

MEDICAL MARIJUANA FACILITIES AND RECREATIONAL MARIJUANA ESTABLISHMENTS (§ 155.146)

- The medical use of marijuana shall comply at all times and in all circumstances with the Michigan Medical Marihuana Act, Medical Marihuana Facilities Licensing Act, State of Michigan regulations for the transfer of medical marijuana, and the General Rules of the Michigan Department of Community Health, as they may be amended from time to time. The recreational use of marijuana shall comply at all times and in all circumstances with the Michigan Regulation and Taxation of Marihuana Act, the rules and regulations established by the Marijuana Regulatory Agency, and the General Rules of the Michigan Department of Community Health, as they may be amended from time to time.*
Findings: The applicant will be required to supply information and documentation related to the procurement of a state license. Approval shall be contingent on all state requirements being met. If the State of Michigan determines that building or site modifications are required, then a new site plan and a special land use application may need to be filed with the City of Inkster.
- A state license and local business license is required for all medical marijuana facilities and recreational marijuana establishments.*
Findings: The applicant will be required to supply information and documentation related to the procurement of a state license. A state license must be obtained prior to issuing a local business license and certificate of occupancy.
- Smoking and/or use of any marijuana shall be prohibited at all medical marijuana facilities and recreational marijuana establishments.*
Findings: This finding can be made if the applicant adds a note to the site plan indicating “no smoking” signs will be posted across the site.
- Security cameras shall be installed and maintained; and are subject to approval by the City Police Chief. All security cameras shall have a minimum resolution of 1080p, and at least 14 concurrent days of digitally recorded documentation. The security cameras shall be in operation 24 hours a day, seven days a week, and shall be set to maintain the record of the prior 14 days of continuous operation. An alarm system is required that is operated and monitored by a recognized security company.*



Findings: The applicant needs to submit a Security Plan. We defer to the Police Department for any additional information and approval.

5. *Exterior lighting shall be required for security purposes, but in accordance with the provisions of the Zoning Ordinance.*

Findings: Site lighting is reviewed by Zoning Ordinance standards during the Site Plan Review process.

6. *The premises shall be open for inspection upon request by the Building Official, the Fire Department and law enforcement officials for compliance with all applicable laws and rules, during the stated hours of operation/use and as such other times as anyone is present on the premises.*

Findings: The applicant will need to add a statement signifying their agreeance to this: without agreement, this finding is not supported.

7. *Quarterly inspections may be made by the City Official's designee to confirm the facility is operating in accordance with applicable laws including, but not limited to, state law and city ordinances.*

Findings: The applicant will need to add a statement signifying their agreeance to this: without agreement, this finding is not supported.

8. *All medical marijuana facilities or recreational marijuana establishments shall not have exterior signage using the word "marihuana" and/or "marijuana" or any other word, phrase or picture commonly understood to refer to marijuana. Neon signs and non-functional decorative lighting shall be prohibited. Sign(s) shall be posted stating that "No loitering is permitted" on such property.*

Findings: Exterior signage requires a separate review from the Site Plan and Special Land Use reviews. Applicant is required to engage in separate sign application review. Applicant can approach City Staff at any time to begin this process.

9. *If the medical marijuana facility or recreational marijuana establishment ceases operation for a length of time of six months or greater, the special land use shall expire.*

Findings: The applicant should provide confirmation that they are aware of this stipulation.

MEDICAL MARIJUANA PROVISIONING CENTERS REGULATIONS (155.148)

1. *A provisioning center shall not be located within a 500-foot radius of a school, measured as the shortest distance from front door to front door.*

Findings: The proposed location is not located within a 500-foot radius of a school.

2. *A provisioning center shall not be located within a 1,000 foot radius, measured as the shortest distance from front door to front door, of a lawfully existing medical marijuana provisioning center or recreational marijuana retailer unless the recreational retailer is operated by the same owner and within the same building as the medical marijuana provisioning center.*

Findings: The proposed location is not located within a 1,000 ft radius of any lawfully existing medical



marijuana provisioning center. However, it is important to note that there are other pending marijuana business license applicants engaging in the planning process within 1,000 ft radius of this establishment.

3. *A provisioning center shall not share office space with a physician.*

Findings: The provisioning center is not proposed to share office space with a physician.

4. *Growing, cultivating, manufacturing, or processing of medical marijuana is prohibited.*

Findings: The provisioning center does not include any plans for growing, cultivating, manufacturing, or processing medical marijuana.

5. *All activity related to the provisioning center shall be done indoors.*

Findings: The applicant will need to add a statement signifying their agreeance to this: without agreement, this finding is not supported.

6. *Any medical marijuana provisioning center shall maintain a log book and/or database identifying by date the amount of medical marijuana on the premises for each qualifying patient/caregiver, keeping the qualifying patient and caregiver information confidential. This log shall be available to law enforcement personnel to confirm that the medical marijuana provisioning center does not have more medical marijuana than authorized at the location and shall not be used to disclose more information than is reasonably necessary to verify the lawful amount of medical marijuana at the facility. The facility shall maintain the confidentiality of qualifying patients in compliance with the Michigan Medical Marihuana Act, as amended, and applicable State of Michigan rules and regulations.*

Findings: The applicant will need to add a statement signifying their agreeance to this: without agreement, this finding is not supported.

7. *Provisioning center drive-through facilities shall be prohibited.*

Findings: The provisioning center will not include a drive-through facility. While a drive-through restaurant is proposed in addition to the provisioning center, the floor plan submitted with the site plan shows a complete separation of the uses.

8. *All medical marijuana shall be contained within the main building in an enclosed, locked facility.*

Findings: The proposed Phase 1 floor plan indicates that there is a sales room, storage room and vault for marijuana products. However, Phase 2 floor plan does not show marijuana containment. A note must be added to the site plan that indicates that all marijuana will be contained within an enclosed, locked facility.

9. *Application for a medical marijuana provisioning center license shall be made to the City Clerk upon application forms provided by the Clerk for medical marijuana provisioning center license and signed by the applicant verifying the truth and accuracy of all information and representations in the application. Applications including information and documentation provided pursuant to an application shall be subject to the confidentiality rules under the Act. In addition to information and submittals, the application shall*



include payment of application fee in an amount set by the City Council.

Findings: The Clerk has received application for a medical marijuana provisioning center license.

10. *The sale, consumption, or use of alcohol or tobacco products on the premises shall be prohibited at the provisioning center.*

Findings: The applicant will need to add a statement signifying their agreeance to this: without agreement, this finding is not supported.

RECREATIONAL MARIJUANA RETAILER ESTABLISHMENT REGULATIONS (155.150 (E))

1. *A recreational marijuana retailer establishment shall not be located within a 1,000 foot radius of a school, measured as the shortest distance from front door to front door, or drug-free zone.*

Findings: The proposed location is not located within a 1000-foot radius of a school.

2. *Recreational marijuana retailer establishment shall not be located within a 1,000 foot radius of a lawfully existing medical marijuana provisioning center, recreational marijuana retailer establishment, or recreational marijuana microbusiness, measured as the shortest distance from front door to front door, except that a licensee who holds both a medical marijuana provisioning license and a recreational retailer license may co-locate both establishments in one building.*

Findings: The proposed location is not located within a 1,000 ft radius of any lawfully existing recreational marijuana establishments. However, it is important to note that there are other pending marijuana business license applicants engaging in the planning process within 1,000 ft radius of this establishment.

3. *Growing, cultivating, manufacturing, or processing marijuana is prohibited.*

Findings: The proposed project shows no plans for growing, cultivating, manufacturing, or processing marijuana.

4. *All activity related to the recreational marijuana retailer establishment shall be done indoors.*

Findings: The applicant will need to add a statement signifying their agreeance to this: without agreement, this finding is not supported.

5. *All recreational marijuana retailer establishment shall comply with all rules and regulations established by the Marijuana Regulatory Agency.*

Findings: The applicant will be required to supply information and documentation related to the procurement of a state license. Approval shall be contingent on all state requirements being met. If the State of Michigan determines that building or site modifications are required, then a new site plan and special land use application may need to be filed with the City of Inkster.

6. *Recreational marijuana retailer establishment drive-through facilities shall be prohibited.*

Findings: The recreational marijuana retailer will not include a drive-through facility. While a drive-



through restaurant is proposed in addition to the provisioning center, the floor plan submitted with the site plan shows a complete separation of the uses.

7. *All marijuana shall be contained within the main building in an enclosed, locked facility.*

Findings: The proposed Phase 1 floor plan indicates that there is a sales room, storage room and vault for marijuana products. However, Phase 2 floor plan does not show marijuana containment. A note must be added to the site plan that indicates that all marijuana will be contained within an enclosed, locked facility.

8. *Application for a recreational marijuana retailer establishment license shall be made to the City Clerk upon application forms provided by the Clerk for recreational marijuana retailer establishment license and signed by the applicant verifying the truth and accuracy of all information and representations in the application. Applications including information and documentation provided pursuant to an application shall be subject to the confidentiality rules under the Act. In addition to information and submittals, the application shall include payment of application fee in an amount set by the City Council.*

Findings: The Clerk has received application for a recreational marijuana retailer license.

9. *The sale, consumption, or use of alcohol or tobacco products on the premises shall be prohibited at the provisioning center.*

Findings: The applicant will need to add a statement signifying their agreeance to this: without agreement, this finding is not supported.

CARRY-OUT, FAST-FOOD, DRIVE-THROUGH OR DRIVE-IN RESTAURANTS REGULATIONS (155.130)

1. *No drive-in, fast food, or carry-out restaurant, as measured from the nearest property line shall be located within 500 feet from an elementary, junior or senior high school or from a public park.*

Findings: The proposed location is not located within a 500-foot radius of a school or public park.

2. *All provisions of §§ 155.071 through 155.082, General Development Standards, shall be complied with unless notified in this section.*

Findings: Review of the General Development Standards have been included in the site plan review, see the site plan review for applicable conditions to ensure compliance.

3. *Points of vehicular ingress and egress shall be limited to an adjacent major thoroughfare only and site plans shall be reviewed by the Planning Commission for location and design of curb cuts and driveways and for layout of parking lots.*

Findings: In Phase 1 of the project, the proposed project re-uses one existing curb cut adjacent to a major thoroughfare: Michigan Ave. In Phase 2 and 3 of the project, the project proposes to create one additional new curb cut adjacent to Michigan Ave.



4. *The minimum width of driveways at the property line shall be 24 feet and not greater than 30 feet.*
Findings: The existing driveway curb cut is 32 ft and 3 in wide. The new curb cut is proposed to be 31 ft and 11 in wide. While the existing driveway is an existing non-conforming width dimension, the proposed driveway must be minimized to 30 ft or less in width.
5. *The minimum distance of any driveway to a property line shall be 20 feet.*
Findings: The existing and newly proposed driveways are both at least 20 ft from the side lot line.
6. *The minimum distance between driveways on the site shall be 75 feet measured from the two closest driveways' curbs.*
Findings: Based on the drawing scale, we believe that this standard has been met.
7. *The minimum distance between a driveway and a street intersection shall be 60 feet measured from the intersection of the street right-of-way to the nearest end of the curb radius.*
Findings: Not applicable.
8. *Businesses adjacent to or integrated in a shopping center on cluster of commercial facilities shall use the common access with other business establishments in that center.*
Findings: The proposed plan includes integrated common access of driveways, parking, and dumpsters with the adjoined retail business.
9. *The entire parking area shall be paved with a permanent surface of concrete or asphalt and shall be graded and drained in accordance with city engineering standards. Any unpaved area on the site shall be landscaped with lawn or other horticultural materials, maintained in a neat and orderly fashion at all times and separated from the paved parking or driveway area by a raised curb or other equivalent barrier.*
Findings: The proposed parking area will be paved with permanent surface. We defer to the City Engineer for approval of the grading and drainage standards. The site plan includes landscaping around the perimeter of the parking areas and driveways as well as within any islands.
10. *Concrete curbing, six inches in height, shall be properly placed and maintained along or parallel to all property lines, except where bumper guards are required and except across an approved driveway, so as to prevent vehicular encroachment onto or over the public right-of-way and to prevent vehicular encroachment onto or over the adjoining property, or vehicular damage to the adjoining buildings.*
Findings: The proposed concrete curbing is six inches in height and properly placed.
11. *Food consumption upon the premises outside the fast-food and carry-out restaurant building shall be prohibited unless permanent outside facilities are provided. The premises shall be properly posted with signs stating that the consumption of foods, frozen desserts or beverages within vehicles parked upon the premises is unlawful and that violators are subject to fines as prescribed by law. A minimum of two such signs shall be posted within the building near the checkout counter of the restaurant and a minimum of four such signs shall be posted within the parking area so as to be clearly visible from all vehicles on the*



premises.

Findings: In order for guests to consume food outside the restaurant, the applicant needs to add a designated outdoor dining area. A dining area is required to the south of the proposed detention pond. It is also encouraged that the applicant provide a several picnic tables in front of the drive-thru restaurant.

12. *All outside trash receptacles, except those intended for use by the customer, shall be located within an enclosure constructed of opaque masonry materials a minimum of four feet and a maximum of six feet in height and shall be provided with opaque gates of the same height.*

Findings: The proposed dumpster enclosures are located in the rear yard and are four feet in height.

13. *A six-foot high completely obscuring wall shall be provided where abutting any residentially zoned district. The height of the wall shall be measured from the surface of the ground. Said wall shall further meet the requirements of § [155.074](#), Walls.*

Findings: Not applicable.



Site Plan Review

Standards for Site Plan Approval are set forth by [Section 155.287](#). This project is reviewed against the City's [Zoning Ordinance](#), [Master Plan](#), existing site conditions, and sound planning and design principles. We offer the following comments for your consideration; underlined items require additional discussion and/or identify outstanding items to be addressed.

1. ZONING & USE (§155.047)

Findings: The subject site is zoned the B-3, General Business District where the proposed uses are detailed in the table below. While the applicant only proposes to re-occupy the existing building today, they seek preliminary site plan approval for all three phases.

The B-3, General Business District is intended for regional, convenience type businesses. As such, the proposed uses have the potential to be compatible with this zoning district and the surrounding uses. However, special land use approval (by City Council) is required for the marijuana provisioning center, adult use retailer and drive-thru restaurant. Please find the special land use review in the section above.

Proposed Phase	Building Square Footage (SF)	Proposed Use	Zoning Requirement
Phase #1	1,600 SF (existing building)	Provisioning center and adult use retailer (marijuana)	Special land use
Phase #2	5,000 SF (new building, four tenants)	General retail (applicant proposes to utilize 3,000 SF of the 5,000 SF building for the provisioning center)	Permitted and special land uses
Phase #3	2,480 SF (new building, one tenant)	Restaurant with drive-through (non-marijuana)	Special land use

Location	Existing Land Use	Zoning District	Future Land Use Designation
Subject Site	Vacant building with small parking lot / vacant land	B-3, General Business	Regional Commercial (with the Entertainment District Overlay)
North ¹	Vacant land	B-3, General Business	Regional Commercial (with the Entertainment District Overlay)

¹ Directly to the north is Michigan Avenue.



East	Furniture (retail) store	B-3, General Business	Regional Commercial (with the Entertainment District Overlay)
South ²	SMART Wayne bus terminal / vacant land	M-1, Light Industrial and R-1B, One Family Residential	Industrial
West ³	Vacant land	B-3, General Business	Regional Commercial (with the Entertainment District Overlay)

2. DIMENSIONAL STANDARDS (§155.061)

Site elements and the relationship between the various uses on the site shall be designed and located so that the development is aesthetically pleasing and harmonious with the general planning area. Buildings and structures must meet or exceed setback standards, build-to lines, height and other dimensional standards, and so placed to preserve environmentally sensitive areas.

Findings: The location of the proposed buildings are appropriate to maximize access from Michigan Ave, while at the same time, concealing the parking areas primarily behind the buildings, and creating a landscaped “front yard” along the streetscape. The project is in compliance with all dimensional standards; the dimensional requirements for the B-3 District and the proposed dimensions are listed in the table below:

Please note, the west and east building elevations on sheet A-03 are incorrectly labeled and must be corrected.

Dimensional Measurement	Required	Proposed	Comments
Min. Lot Area	*	±3.02 acres	-
Min. Lot Frontage	*	391.56 ft.	-
Min. Front Yard Setback	0 ft.	> 67 ft.	In compliance
Min. Side Yard Setback (east)	10 ft.**	74 ft.	In compliance
Min. Side Yard Setback (west)	10 ft. **	29 ft.	In compliance
Min. Rear Yard Setback	0 ft.	190 ft.	In compliance
Max. Height	2-stories; 25 ft.	1-story; 22 ft.	In compliance
Max. Lot Coverage	*	6.9% (building footprints only)	-

² Directly abutting the property to the south is the railroad.

³ The vacant land was used for multiple family residential but is now proposed to be a marijuana adult use retailer, address 30007 Michigan Ave.



**Section 155.061(D): The minimum lot area and width and the maximum lot coverage are determined by the project's compliance with off-street parking and landscape standards.*

*** Section 155.061(G): No side yards are required along interior side lot lines provided that if walls of structures facing such interior side lot lines contain windows or door penetrations; such side yard shall not be less than 10-feet.*

3. ARCHITECTURAL FEATURES (§155.072)

Building design and architecture shall relate to and be harmonious with the surrounding neighborhood in terms of texture, scale, mass, proportion, materials, and color.

Findings:

Summary of Proposed Changes:

The building elevations on sheet A-02 do not feature the same remodeled building design for Building #1 as on A-01; this discrepancy must be corrected.

Building #1. The existing brick (and CMU) on this structure will be painted and the existing siding will be replaced. A new door and window will be added to the north elevation and the existing overhead door will be removed on the south elevation. The existing roof mounted lighting must be removed (see section #11 – Lighting below for details).

Building #2. Observing the building from Michigan Ave, the right of the building will be made with brick veneer (Grand River) and the center of the section of the building will be constructed of EIFS (gray) and Nichiha cement fiber panels. There are four main entrances with double doors from Michigan Ave--five entrances if we include the existing Phase 1 building. Phase 2 and Phase 1 buildings will be adjoined.

Building #3. Observing the building from Michigan Ave, the main entrance will have double doors and will be framed by EIFS (gray) to the left and right of the doors. On top of the doors, the building material will be Nichiha cement fiber panels.

Massing. *Structures with walls greater than 1,500 square feet must incorporate building setbacks of at least 3 feet to separate the wall into facade planes not greater than 500 square feet. In addition, façades shall incorporate canopies, fascias or other distinguishing entrance features to the maximum extent feasible.*

- Only the front façade of Building #2 (north elevation, facing Michigan Avenue) consists of ±2,000 SF of wall area; greater architectural variation must be provided.
- While the rear and east (drive-thru) façades of Building #3 are less than 1,500 SF, these façade walls appear flat and would benefit from greater architectural detail (ex: vertical brick column, soldier course, etc.).

Exterior Colors / Materials. *The color of the exterior materials must be of low-reflectance, subtle, neutral colors. The use of high-intensity or reflectance, and fluorescent colors is prohibited. Building trim may exhibit brighter colors, except neon tubing is prohibited.*

- The new paint and siding colors for Building #1 must be presented to the Commission and so noted on the site plan.
- The applicant must remove the note from west elevation of Building #2 indicating that “cement fiber panels Nichiha” will be used.



- Proposed materials for Buildings #2 and #3 (e.g. Nichiha cement fiber concrete look, Nichiha cement fiber vintage wood, brick veneer grand river) are neutral colors.

Façade Windows / Transparency. *At least 30% of the ground floor street facades for retail uses in a B-3 district shall be constructed with windows or other transparent materials.*

- Percentage calculations of the total glass area are not provided for any of the three buildings; the applicant must provide calculations to show that the minimum of 30% is provided. If not provided, additional windows will be required.

Miscellaneous Façade Items.

- It is unclear if roof mounted equipment will be installed for any of the three buildings; if proposed, roof mounted systems must be screened from view by a parapet and so noted on the site plan.

4. IMPACT ON PUBLIC SERVICES

Utility services, including sanitary, water and storm runoff, shall not exceed the existing or planned capacity of such services, and shall be developed in the best interest of the public health, safety, and welfare of the community. The proposed development shall be designed and located so that public services, including streets and sidewalks, police and fire protection, and public schools have sufficient capacity to properly serve the development, and so that such services will not be adversely affected by the proposed development.

Findings: This item is subject to approval by the City Engineer and City Fire Chief.

5. VEHICULAR ACCESS & CIRCULATION

The vehicular circulation system planned for the proposed development shall be in the best interest of the public health, safety, and welfare in regard to on site circulation, onsite parking, the overall circulation of the neighborhood and community, egress/ingress to the site, vehicular turning movements related to parking areas, loading areas, street intersections, street gradient, site distance and potential hazards to the normal flow of traffic both on and off site.

Findings: Further analysis of vehicular circulation is subject to the review of the City Engineer and Wayne County Road Commission. It is required for the applicant to increase the NE maneuvering lane to be 24 ft between the northern curb line and the terminal landscape island. We have identified several minor changes to the site plan (see #10 - Parking section below) to improve both vehicular and pedestrian safety.

6. PEDESTRIAN ACCESS & CIRCULATION

The pedestrian circulation system planned for the proposed development shall be in the best interest of the public health, safety, and welfare in regards to on site circulation and the overall pedestrian circulation of the neighborhood and community.

Findings: A dedicated, safe, pedestrian access to Building #3 (across the drive-thru lane) from the parking area is recommended, the crosswalk should be a "ladder" stripe for highest visibility. A 5 ft. sidewalk should also be added from the Michigan Avenue sidewalk to the building entrance (along the east of the detention pond), to provide pedestrian access to the site.



Since at least one restaurant space is proposed for this facility, an outdoor dining area is recommended, directly south of the detention pond. The eating area should be fenced in with decorative black aluminum fencing and potted plants. Benches, bike racks, and other pedestrian amenities should be considered in this plaza area to make it more welcoming.

7. EMERGENCY ACCESS & VULNERABILITY TO HAZARDS

All sites and buildings must be designed to allow convenient and direct emergency access, and the emergency response needs of the proposed use(s) shall not exceed the City's emergency response capabilities.

Findings: This item is subject to approval by the City Engineer and City Fire Chief.

8. LANDSCAPING (§155.073; 155.080)

Proposed landscaping must be appropriate and of such size, location, height and quantity to ensure that the proposed development is not objectionable to nearby properties by reason of noise, fumes, flash of lights from automobiles or other lighting, interference with an adequate supply of light and air, an increase in the danger of fire, or other public safety hazard.

Findings: The required and proposed site landscaping is detailed in the table on the following page. Multiple adjustments and additions are necessary to the landscape plans to comply with the minimum ordinance requirements. Due to the scope of this project and the availability of space on the site, no waivers are recommended.

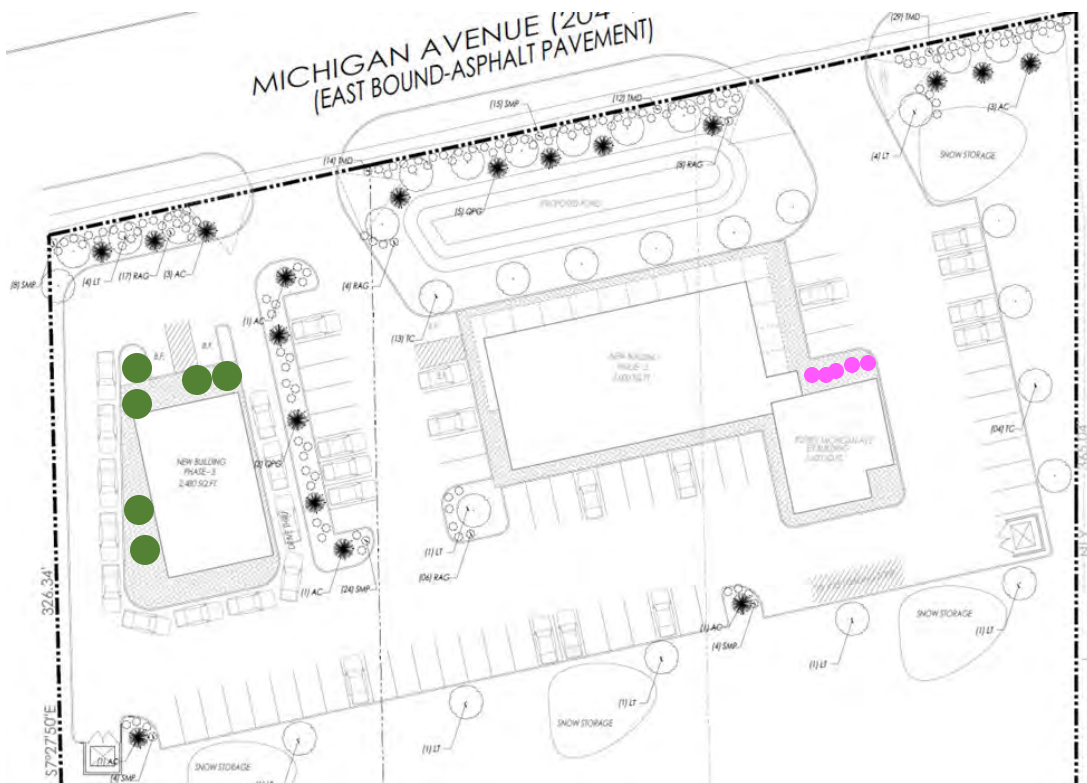
Criteria	Required	Proposed	Comments
Right-of-Way: Deciduous Trees	1 per 35 ft. (391 ft. / 35 ft.) = 11 trees	19 trees	<u>11 of the 19 deciduous trees (LT, Tulips trees, QPG, Oak trees, and TC, Linden trees) must be located within the right-of-way (between the sidewalk and the road).</u>
Right-of-Way: Ornamental Trees	1 per 75 ft. (391 ft. / 75 ft.) = 5 trees	6 trees	<u>5 of the 6 ornamental trees (AC – Serviceberry) must be located within the right-of-way (between sidewalk and road).</u>
Planted Yard Area Trees	1 per 3,000 SF	Undetermined	<u>The applicant must provide the total planted yard area square footage first, including the front green space/detention basin, but not the southern portion of the site that is vacant land.</u>
Parking Lot: Interior Landscaping	5% of ±20,000 SF impervious area = 1,000 SF	>1,000 SF	In compliance.
Parking Lot: Trees	1 deciduous tree per 150 SF of interior area = 1,000 SF / 150 SF = 7 trees	3 QPG + 1 LT+ 5 LT+ 4 TC =13 trees	<u>It is recommended that an additional 6 deciduous trees are planted around the perimeter of Phase 3 building and 5 ornamental trees are planted in the front of Phase 1 building. See photo below.</u>



Parking Lot: Terminal Landscape Islands	At end of each parking row; min. size of 144 SF and 18 ft. long	Several parking rows do not have terminal landscape islands	<u>An additional landscape island is required by the southeast dumpster. One parking space must be removed to create. The two lawn areas adjacent to the barrier free parking in front of Building #3 must be landscaped. See Parking diagram.</u>
Parking Lot: Interior Landscape Islands	Min. size of 160 SF and 8 ft. in width; plus 1 deciduous tree per each island	None proposed	-
Parking Lot: Divider Min. Size	8 ft. wide	10 ft. wide	In compliance.
Parking Lot: Divider Trees	1 deciduous or 2 ornamental trees per 25 linear ft. = 90 ft. / 25 ft. = 4 deciduous or 8 ornamental trees	3 deciduous and 2 ornamental trees	In compliance.
Parking Lot: Divider Shrubs	Continuous hedge the entire length of the divider	18, 30-inch lilac bushes, in a staggered row	<u>5-6 additional shrubs must be added to the divider to better fill in the space.</u>
Parking Lot: Wheel Stops / Curb	2 ft. min. of overhand clearance needed for any landscape areas	The 18 ft. parking spaces will overhang into the landscaping	<u>All parking spaces must be 20 ft. in length to protect the landscape areas.</u>
Curbing (General)	Concrete curbing is required along all landscape areas	Provided	In compliance.
Parking Lot: Perimeter Deciduous Trees	1 deciduous tree per 25 linear ft. = (391 ft. / 25 ft.) = 16 trees	8 trees	<u>While they have 19 trees in this area, 11 are considered street trees and cannot be double counted; 8 trees must be added.</u>
Parking Lot: Perimeter Ornamental Trees	1 ornamental tree per 35 linear ft. = (391 ft. / 35 ft.) = 11 trees	1 tree	<u>While the applicant has a total of 6 trees in this area, 5 are considered street trees and cannot be double counted; an additional 10 trees must be provided.</u>
Parking Lot: Perimeter Shrubs	Continuous hedge of shrubs, no more than 30-inches on center	A mix. of lilac and sumac shrubs, however they are spaced much greater than 30-inches on center	<u>Additional shrubs must be added to create a continuous screen where the shrubs are planted at least 30-inches on center.</u>
Snow Storage	Plant materials must be hardy, salt-tolerant groundcover	Several snow storage areas proposed over lawn areas only	In compliance.



Irrigation	Automatic or drip irrigation required	Not provided	<u>An irrigation system must be provided.</u>
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- Ornamental tree
- Deciduous tree

9. SCREENING AND BUFFER (§155.074; 155.075)

Proposed screening and buffer areas shall be appropriate and of such size, location, height and quantity to ensure that the proposed development will not be objectionable to nearby development or properties by reason of noise, fumes, flash of lights from automobiles or other lighting, interference with an adequate supply of light and air, an increase in the danger of fire, or other public safety hazard. Screening shall be provided in a manner that adequately buffers adjacent land uses and screens off-street parking, mechanical appurtenances, loading and unloading areas and storage areas from adjacent residential areas and public rights-of-way.

Findings:



Walls. No screening wall along the property is required (as detailed in section 155.074: Walls) since this property is not directly adjacent to any residentially zoned property.

Dumpster. *Dumpsters must be screened on four sides by a masonry wall, similar in material and/or color to the main structure and must feature an opaque gate to a height at least one foot taller than the receptacle. Waste areas shall be located in the rear yards and surfaced with concrete not less than six inches in depth.*

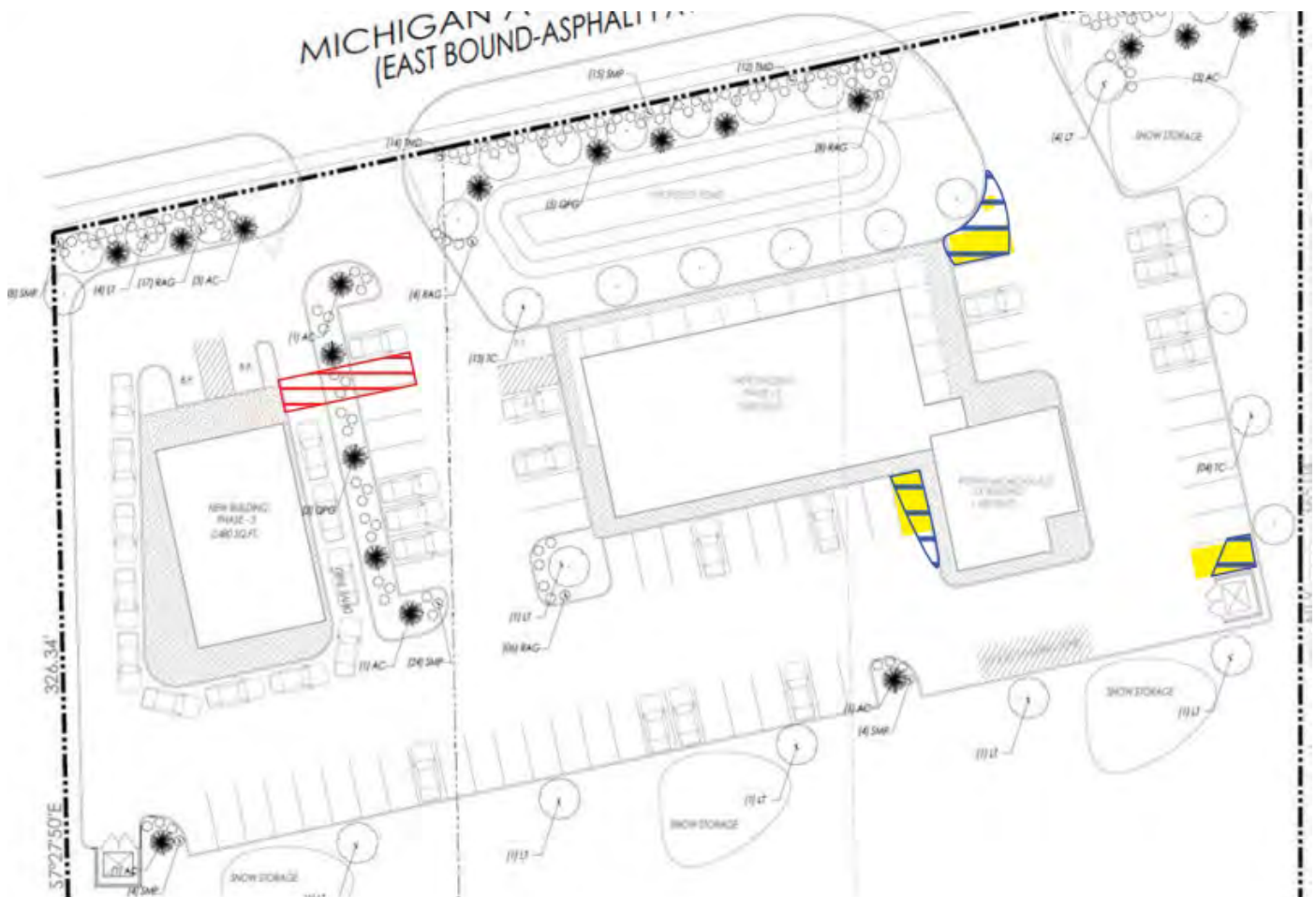
Two dumpsters are proposed for the full project buildout – both are located in the rear yard. However, additional information on the material of the dumpster must be provided (sheet ASP-01 notes both vinyl fencing and masonry, with a brick pattern). The details of the gates and total enclosure height must also be provided.

10. PARKING & LOADING (§155.077; 155.078; 155.079)

The parking pattern proposed shall be in the best interest of the public health, safety, and welfare in regard to size, layout and quantity, and the location of parking and loading facilities will not be detrimental to nearby developments, properties, or public streets.

Findings: Applying the standards below, the project proposes 71 parking spaces (including 4 van accessible spaces). The project requires 71 parking spaces (including 1 van accessible and 2 car accessible spaces). The project meets the parking standards. However, it is recommended that the applicant removes four parking spaces to improve site circulation and connectivity for the health, safety and welfare of the general public. The recommended parking spaces to be removed are indicated in the drawing below.

Additionally, all parking space dimensions must be increased to 20 ft. in length, instead of the proposed 18 ft. in length.



-  Remove parking space to enhance cross retail pedestrian connectivity
-  Remove parking space to improve circulation safety
-  Expand curb to enhance circulation safety



Parking. Per section 155.077: Table of Required Off-Street Parking, the following parking standards apply:

<u>Phase #1</u>	<u>Marijuana Retail</u>	2 spaces, plus 1 space per 175 SF of gross floor area = 2 + (1,600 SF / 175 SF) = 2 + 9 = 11 parking spaces required (including 1 van accessible space) <i>*Compliance met: 13 parking spaces (including 2 barrier free spaces) are proposed. Applicant needs to demonstrate that the length of each parking space is 20 ft. (and so detail on sheet ASP-01).</i>
<u>Phase #2</u>	<u>General Retail</u>	2 spaces, plus 1 space per 175 SF of gross floor area = 2 + (5,000 SF / 175 SF) = 2 + 28.57 = 31 spaces required (including 1 van and 1 car accessible) + Phase 1 parking requirements (11 spaces, 1 accessible) = 42 parking spaces required (including 1 van accessible and 1 car accessible space) = 50 spaces (including 2 van accessible spaces)
<u>Phase #3</u>	<u>Restaurant (drive-thru)</u>	1 per employee on the largest shift; 1 per 100 SF of gross building area, plus 8 stacking spaces (per window), plus 1 per 100 SF of outdoor eating area = (2,480 / 100 = 25 parking spaces), plus 4 employees and no outdoor seating = 29 parking spaces required (with 2 van accessible spaces, plus 12 stacking spaces)
Total Parking Required:		= Phase 1 (11) + Phase 2 (31) + Phase 3 (29) = 71 parking spaces (including 1 van accessible and 2 car accessible spaces)
Total Parking Proposed:		= 71 (including 4 van accessible spaces)

Loading Zones. Per section 155.061(H), off-street loading spaces must be provided in the rear yard, at a ratio of one per establishment. A 10 ft.x35 ft. loading zone is proposed in the rear yard, directly behind the existing building (Phase #1) and screened from the Michigan Avenue right-of-way. We find that this loading zone can service both the buildings in Phases #1 and #2. However, a second loading zone must be identified for Phase #3 (behind the restaurant). We find there is sufficient space behind the drive-thru restaurant building, within the parking area, provided the applicant is in agreement on delivery timing and where employees are directed to park.

In addition, per section 155.079, the minimum size for a loading zone is 10 ft.x70 ft. with a clearance of 14 ft. in height. While the minimum height clearance is met, the applicant must either expand the length of the loading zones to 70 ft. or demonstrate to the satisfaction of the Planning Commission that the loading zones (at 10 ft.x35 ft.) are appropriate sizes for the types of truck deliveries anticipated by the future tenants.



11. EXTERIOR LIGHTING AND SECURITY CAMERAS (§155.076)

All exterior lighting fixtures shall be designed, arranged, and shielded to minimize glare and light pollution, prevent night blindness and vision impairments, and maximize security.

Findings:

Exterior Lighting. The Photometric Plan (L201) proposes 28 LED, building mounted lights, with a mix of utilitarian wall packs on the rear of the buildings (L4) and more decorative fixtures for the front and side façades (L5). 6 pole lights (L1, L2, and L3) are also proposed in the parking lot, primarily across the southern edge of the parking lot.

Overall, the proposed lighting plan complies with the Ordinance, except that the existing roof mounted lighting on Building #1 must be removed from the structure. These lights are shown on the building elevations on A-01 but are not detailed on the Photometric Plan.

Additionally, the applicant must provide cut sheets to the city demonstrating that the following is met:

- Only white, non-glare lighting shall be permitted.
- Lighting shall be placed and shielded to direct the light onto the site and away from adjoining properties.
- Lighting shall be shielded so that it does not cause glare for motorists.
- Lights shall be recessed into the fixture so that bulbs or elements are not visible from adjoining properties.

The following table details the maximum illumination permitted (levels noted in footcandles “fc.”) and the maximum height permitted, in comparison with that proposed on the site:

Standards	Standard	Proposed	Comments
Max. Illumination	20 fc.	13.3 fc.	In compliance.
Max. Illumination at the Property Line			
For uses adjacent to residential (zoned or used) property	0.1 fc.	n/a	-
For uses adjacent to non-residential property	0.3 fc.	0.3 fc.	In compliance.
Max. Lighting Fixture Height			
For uses adjacent to residential (zoned or used) property	20 ft.	n/a	-
For uses adjacent to non-residential property	25 ft.	Parking Lot Lights: 20-25 ft. Building Mounted Lights: 7-8 ft.	In compliance.

Security Cameras. The applicant needs to provide a Security Plan:

- Security cameras shall be installed, maintained and approved by the City Police Chief;



- All security cameras shall be high-definition with a minimum resolution of 1080p and night vision with at least 120 concurrent hours of digitally recorded documentation;
- The security cameras shall be in operation 24 hours a day, seven days a week, and shall be set to maintain the record of the prior 120 hours of continuous operation;
- An alarm system is required that is operated and monitored by a recognized security company; and
- Security cameras shall be placed to cover the entire site and placement shall be approved by the City Police Chief.

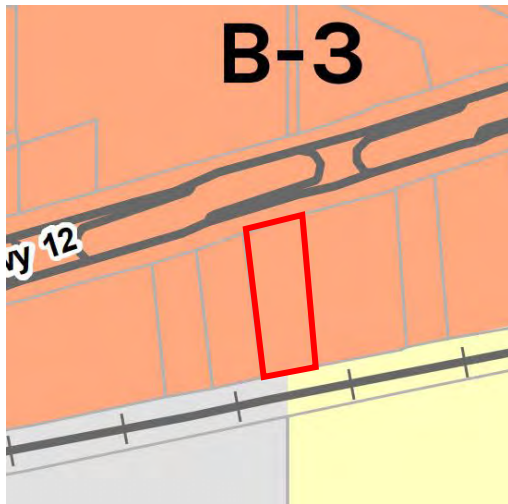
NOTICE OF PUBLIC HEARING
CITY OF INKSTER, WAYNE COUNTY, MICHIGAN

RE: Case No. 22-16 (SLU)

In accordance with and pursuant to the Michigan Zoning Enabling Act, Act 110 of 2006, as amended, notice is hereby given that the City of Inkster Planning Commission will hold a public hearing on **Monday, June 27, 2022, at 6:30 p.m.**, held virtually. Information to join the meeting can be found at City Hall located at 26215 Trowbridge, Inkster, Michigan, 48141 or at www.cityofinkster.com. The purpose of this hearing is to consider a special land use to allow an adult-use marijuana retail and provisioning center in the B-3 General Business District at 29899 Michigan Avenue. Ermal Mandija is the applicant. The subject property is located on the south side of Michigan Avenue, west of Henry Ruff Road and east of Middlebelt Road and is legally described as follows:

TAX ID: 44-012-99-0016-003

26H2B4B 5B2 PART OF SE 1/4 SEC 26 T2S R9E, BEG S1DEG 49M E 137.81FT AND S71DEG, 34M W 1330FT FROM E 1/4 COR OF SEC 26, TH S71DEG 34M W 391.56FT TH 57DEG 27M 50S E 326.34FT TH N77DEG 14M E 377.68FT TH NLY 365.04FT POB, EXC WLY 241.56FT THEREOF MEA AT A RIGHT ANG TO WLY PROPERTY LINE OF SAID PARCEL 1.17 AC



↑
NORTH

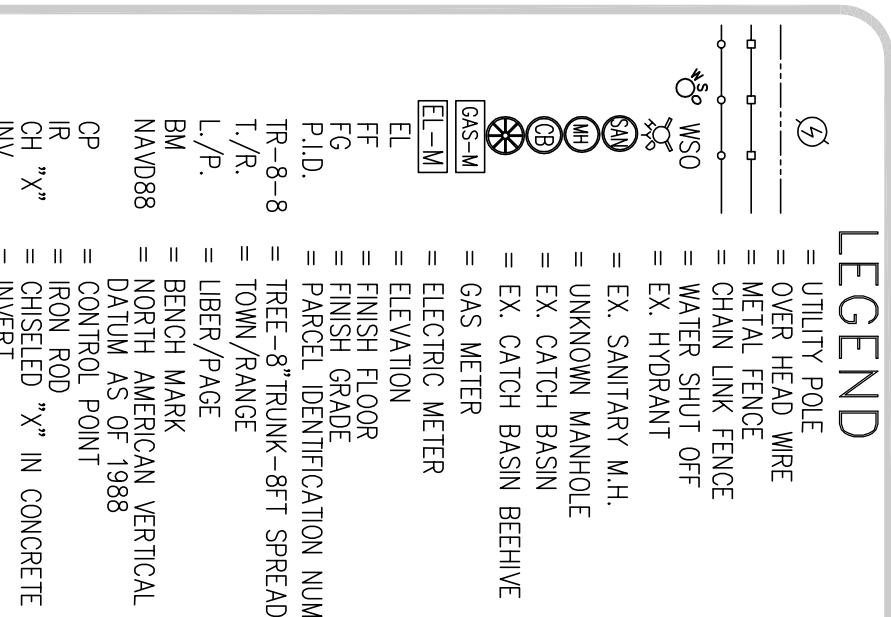
Public comments are invited. Persons unable to attend the public hearing may send their comments in writing to the attention of the City of Inkster Planning Department, 26215 Trowbridge, Inkster, Michigan, 48141. Comments will be received through 12:00 noon, Monday, June 20, 2022. Please reference Case No. 22-16 (SLU) in all correspondence.

The City of Inkster will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and audio tapes of printed materials being considered at the public hearing to individuals with disabilities upon five business days written notice. Individuals with disabilities requiring auxiliary aids or services should contact the City of Inkster at 313.563.9770.

Verna Chapman
Inkster City Clerk

PUBLISH BY: June 9, 2022

Planning Department • 313.563.9760

VICINITY MAP
(NOT TO SCALE)

Site Bench Mark No. 1:
Rim of Pavement Catch Basin, being in southerly pavement of Michigan Avenue and 44.9 FEET
westerly of the most NE property of the subject property.
EL=633.71' (NAVOD88).

Site Bench Mark No. 1:
Rim of Pavement Catch Basin, being in southerly pavement
westerly of the most NE property of the subject property.
EL=633.71' (NAVD88).

Site Bench Mark No. 2:
Top of Rim of Water Shut Off, being southerly of the fire hydrant in front of the subject property near the most NE property of the subject property.
EL=634.91' (NAVD88).

2106 Belmont, Michigan, is the Rim of a most easterly Storm Man Hole, within the pavement of Michigan Avenue as shown hereon. EL=633.51' (NAVD88).

—Utility information as shown herein are compilation of field observation, therefore no guarantee could be given as to their exact location and depth. An excavation might be needed in order to determine utility position.

- All measurements as shown herein are existing.
- All symbols as shown herein are not to scale.
- Client/contractor shall comply to City's requirements in regards of obtaining all needed permits when coming to utilize.
- All measured elevations are expressed in North American Vertical Datum as of 1984. (NAVD83)
- AS-B-S Land Survey, P.C. retains the sole ownership of this document as an instrument of service and shall not be reproduced without the written permission and additional compensation.
- Copyright © 2022 AS-B Land Survey, P.C.

#29899 Michigan Avenue, Inkster, MI, 48141 (East Parcel)
Part of the SE 1/4 of Section 26, Town 2 South, Range 9 East, City of Inkster, Wayne County, Michigan, being more particularly described as follows:

Part of the SE 1/4 of Section 26, Town 2 South, Range 9 East, City of Inkster, Wayne County, Michigan, being more particularly described as follows:

[illegible][illegible]

Vacant **1/4 of Section 26**, Town 2 South, Range 5 East, City of Interim, West Carver, Michigan, being more particularly described as follows: **Right-of-Way**, **thence S07°11'44" E 144.28 feet** to the **Southeasterly Right-of-Way of Michigan Avenue (204'** **wide Right-of-Way)**; **thence S75°14'44" E 600.28 feet** along the **Southeasterly Right-of-Way of Michigan Avenue**, to the **Point of Beginning**; **thence S08°00'00" E 338.46 feet** to the **Right-of-Way**; **thence N08°00'00" E 26.26 feet**, to the **Southeasterly Right-of-Way of Michigan Avenue**; **thence Right-of-Way**, **thence N08°00'00" E 26.26 feet**, to the **Southeasterly Right-of-Way of Michigan Avenue**; **thence S08°00'00" E 338.46 feet** to the **Point of Beginning**. **Percol Identification Number(s)** **44-012-99-0016-0001** or alias.

Noted to the rights of a public and any easements and/or restrictions of record or otherwise.

Noted to the rights of a public and any easements and/or restrictions of record or otherwise.

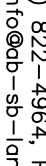
The subject property (ies) are not shown at this time.

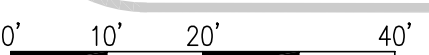
The subject property (ies) are not shown at this time.

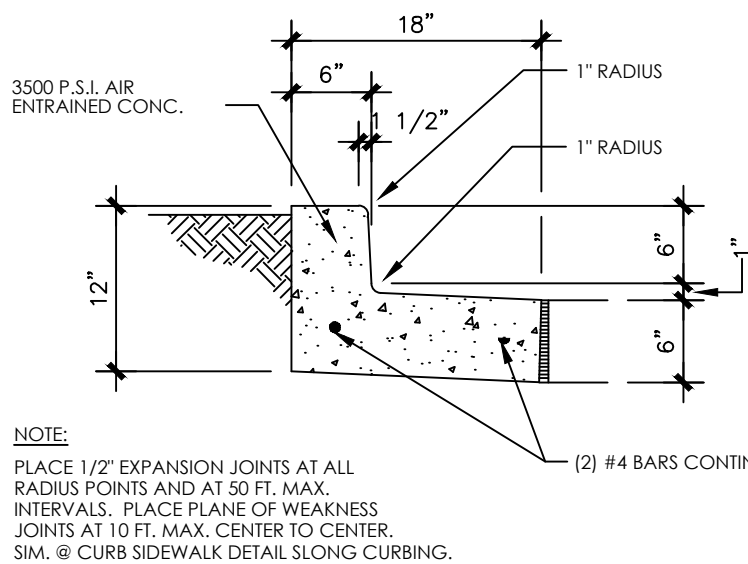
29859 Michigan Avenue, Inkster, MI, 48141 (combined)
Part of the SE 1/4 of Section 26, Township 4 South, Range 9 East, City of Inkster, Wayne County, Michigan, being more particularly described as follows:
Commencing at the East 1/2 Corner of Section 26, thence S02:31:16"E 134.28 feet, to the Southeastern Right-of-Way of Michigan Avenue (204' wide Right-of-Way); thence S70:51:44"W 108.10' to the Southeastern Right-of-Way of Michigan Avenue; thence S06:52:52"E 356.02 feet, to the Northwestern Right-of-Way of Michigan Avenue; thence S06:52:52"E 356.02 feet, to the Northwestern Right-of-Way of Michigan Avenue; thence S76:31:44"W 377.80 feet, along said Northwestern Right-of-Way of Michigan Avenue; thence N08:10:06"W 326.34 feet, to the Southeastern Right-of-Way of Michigan Avenue; thence S07:14:41"E 391.95 feet, along said Southeastern Right-of-Way of Michigan Avenue, to the Point of Beginning. Square 1,314—3,017 Acres, more or less.
Containing 1,314 Acres, more or less.
Subject to the rights of a public and any easements and/or restrictions of record or otherwise.
Note: Since our survey DOES NOT include a Title Search there could be easements and/or encumbrances upon the subject property that are not shown at this time.

Mende Bezanovski, P.S.#4001049436

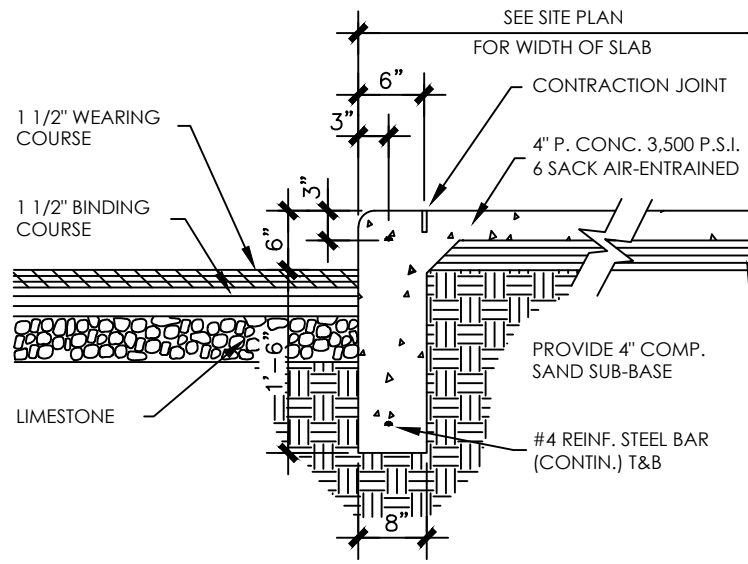


	
LAND SURVEY, P.C. 36636 North Pointe of New Balance, M 49047 TEL: (508) 600-8759 FAX: (508) 600-8759 WWW: 01-80-1LANDSURVEY.COM	
SCALE: 1" = 40' JOB NUMBER: 2022-04-15-76-EM FIELD: MB REVISIONS: CLIENT: Mr. Esmail Mandija, Esq. ADDRESS: 29899 Michelson Avenue Inglester, MI 48141	DRAWN: MB CHECKED: MB DATE: 05-02-2022
TEL: (430)-772-0208 FAX:	

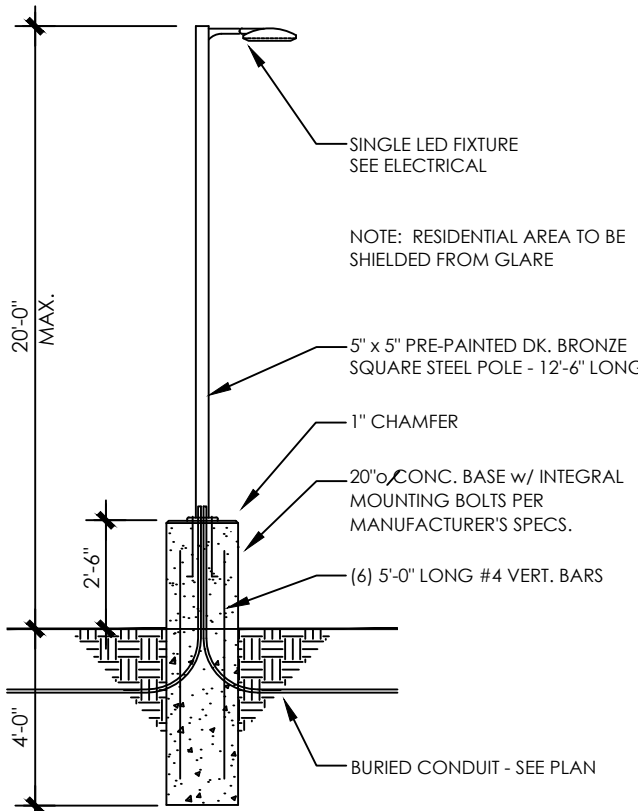




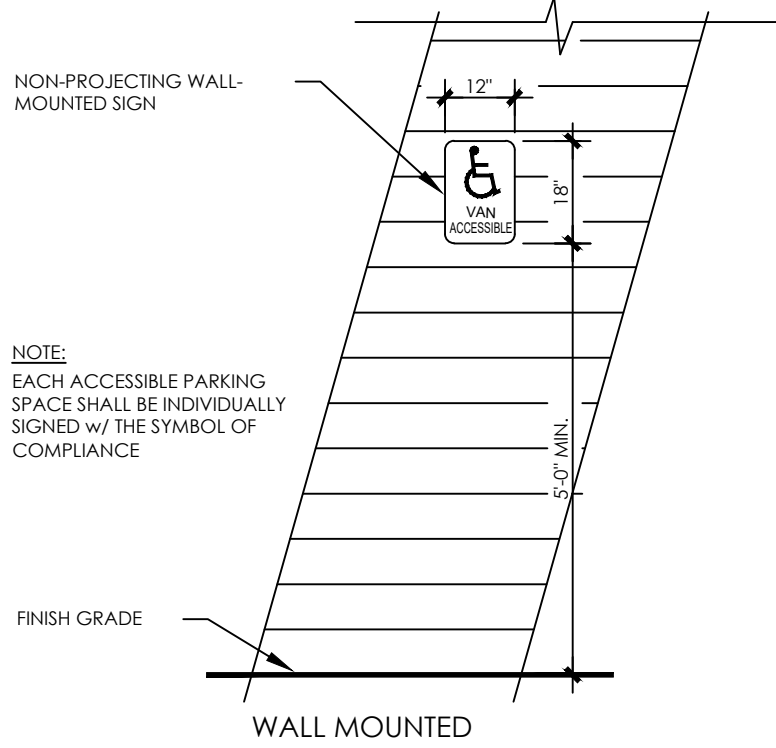
CURB w/ INTEGRAL GUTTER
NOT TO SCALE



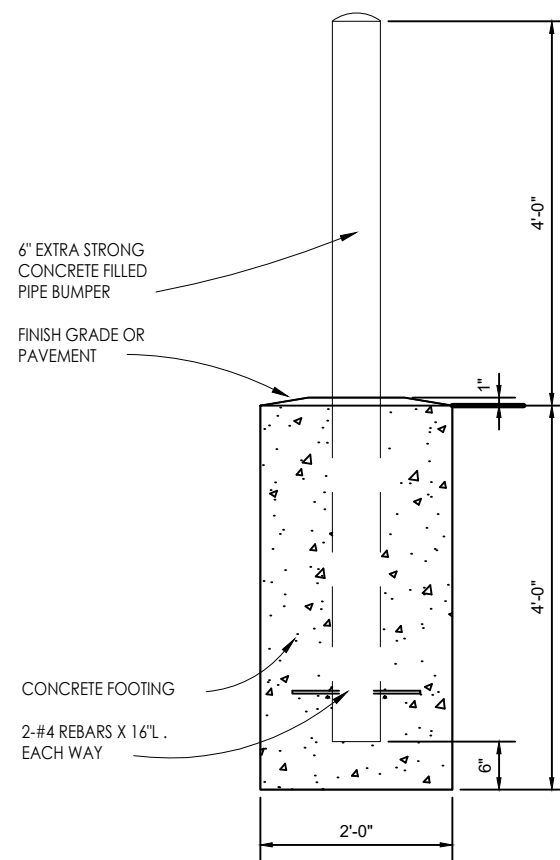
CURB SIDEWALK DETAIL
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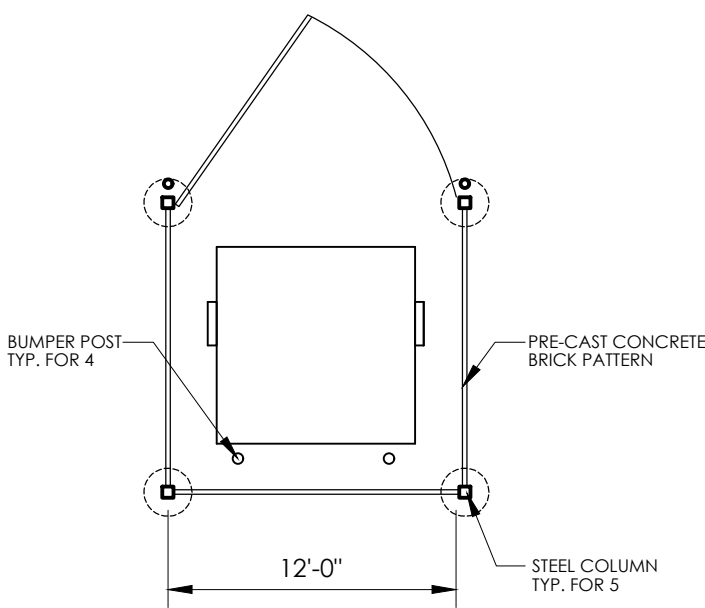
TYPICAL LIGHT STANDARD
NOT TO SCALE



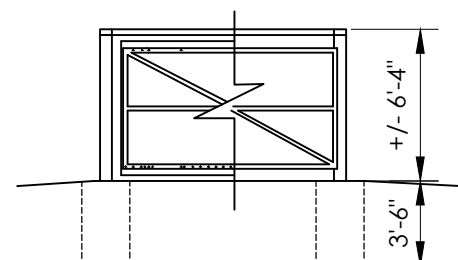
P.H. PARKING SIGNAGE
NOT TO SCALE



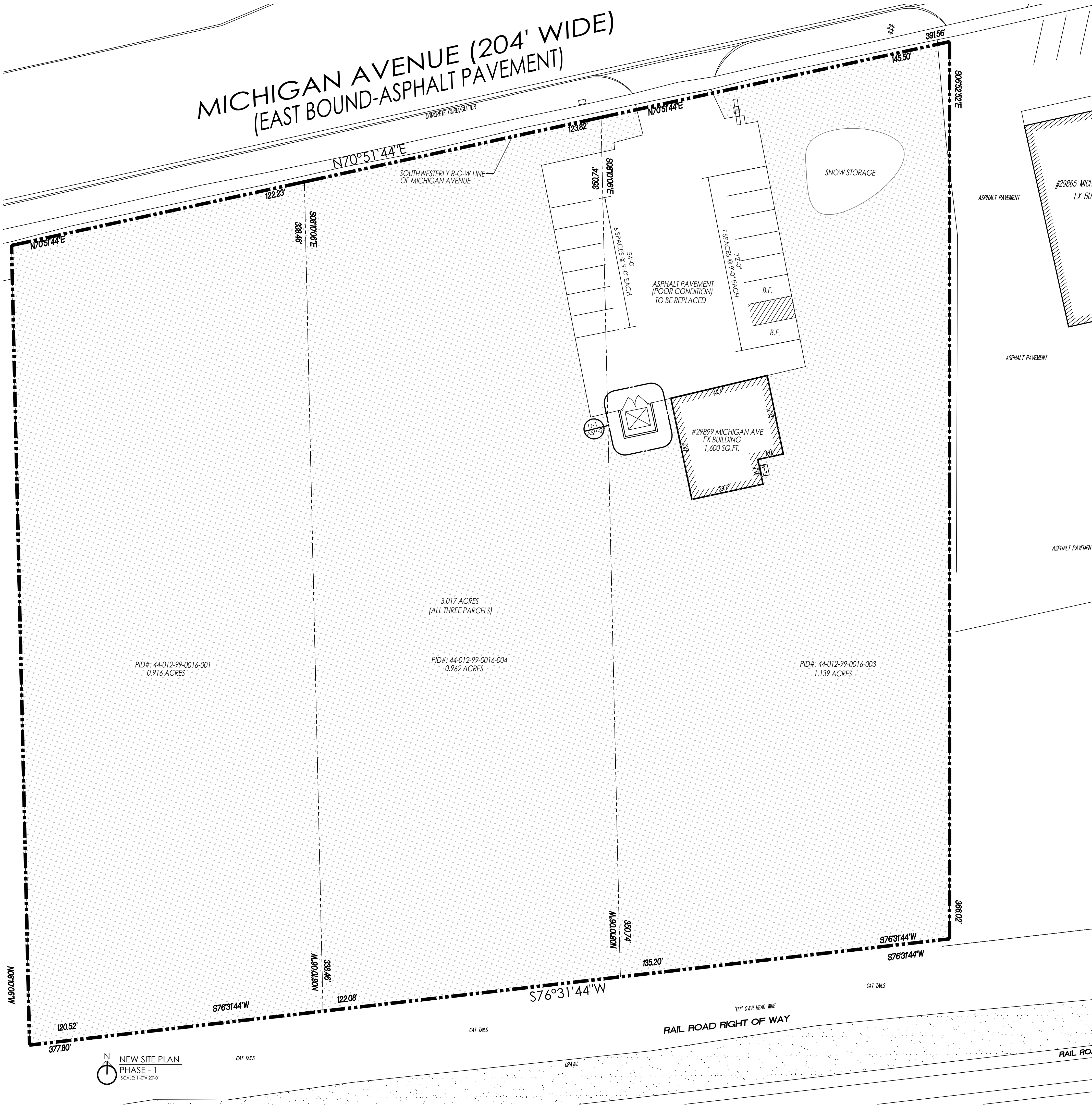
TYP. BUMPER POST DETAIL
SCALE: 1/8"=1'-0"



DUMPSTER ENCLOSURE D-1 (TYP)
SCALE: 1/8"=1'-0"
NOTE: VINYL TYPE FENCING AND GATES BY DUMPSTER CONTRACTOR



ELEVATION D-1
SCALE: 1/8"=1'-0"



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+PLANNERS

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Dearborn, MI 48126
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F. (313) 406-2190
nsaymuh@cdpaarchitects.com
www.cdpaarchitects.com

Key Plan: NO SCALE

Project Name and Client:

ADDRESS:
29899 MICHIGAN AVE.
INKSTER, MICHIGAN

Client:

INKSTER
MICROBUSINESS LLC
4312 E. GRAND RIVER AVE.
HOWELL MI. 48843

Seal:



Date Issued For

04/12/2022 CLIENT REVIEW

04/26/2022 REVIEW

05/13/2022 CITY REVIEW

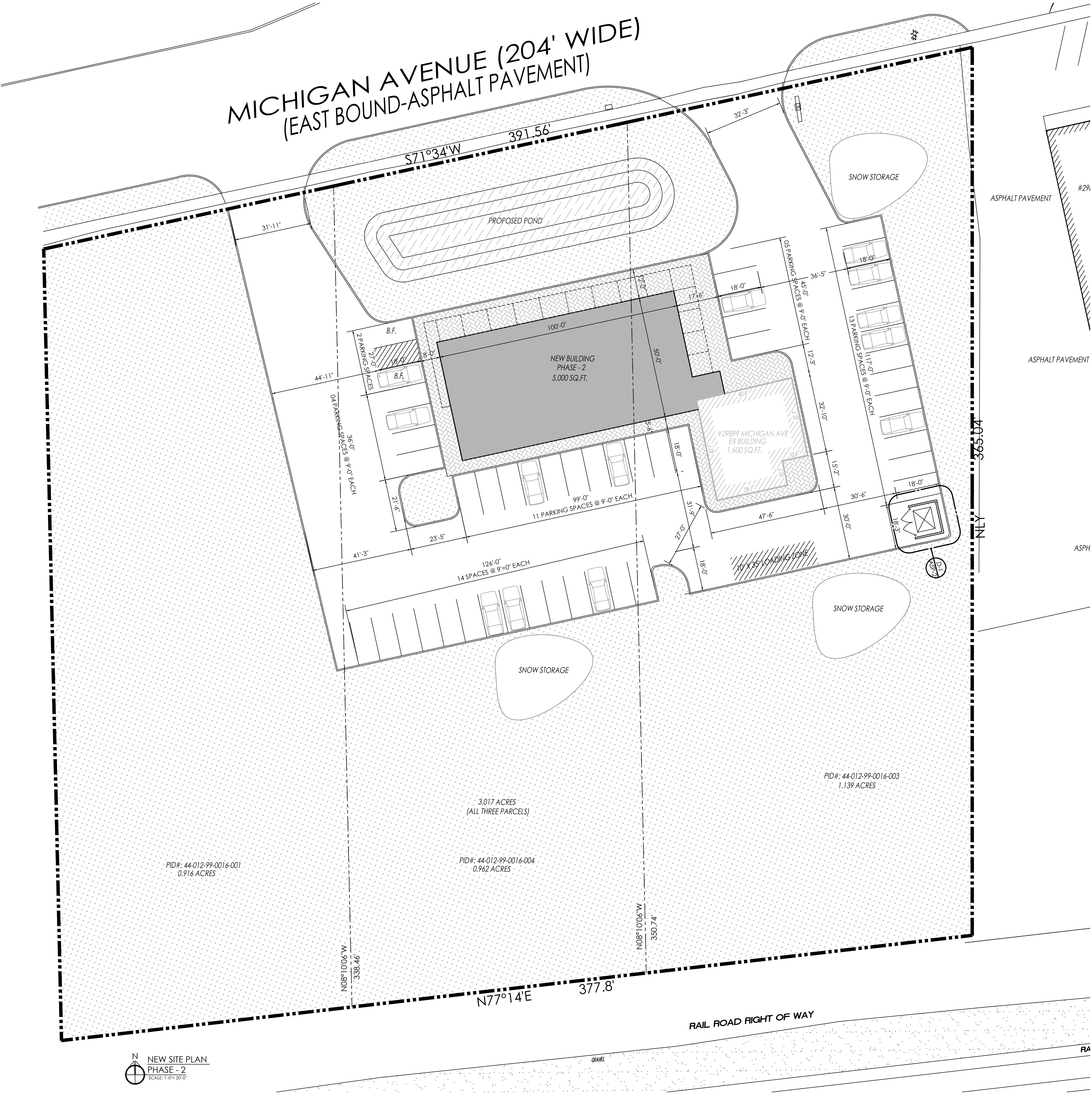
Drawn: E.D.
Checked: N.S.
Approved: N.S.

Sheet Title:

NEW SITE PLAN
PHASE - 1

Project Number: 22-008

Sheet Number: ASP-01



NEW SITE PLAN
PHASE - 2
SCALE: 1"=20'-0"

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Key Plan: NO SCALE

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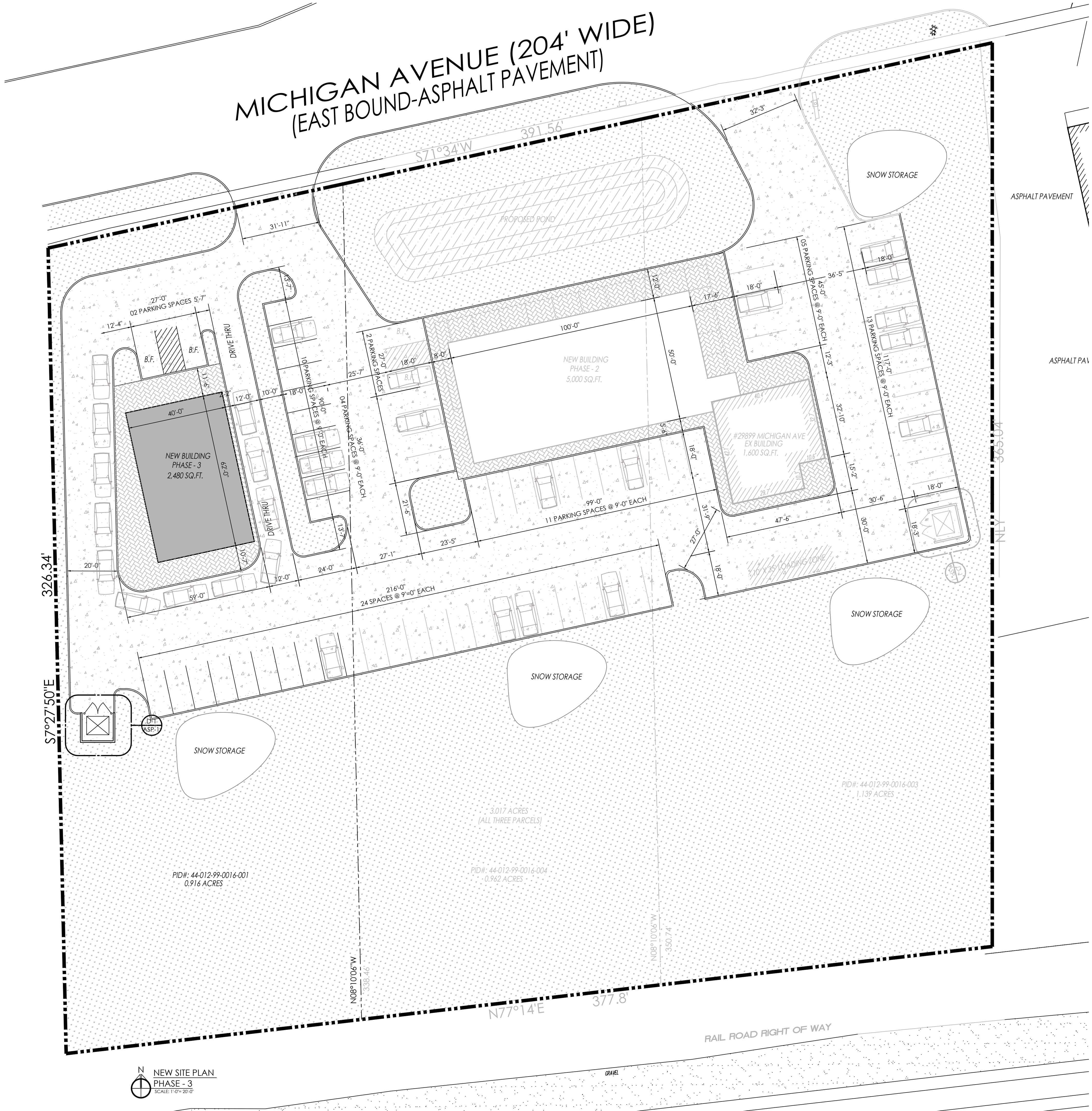
Drawn: E.D.
Checked: N.S.
Approved: N.S.

Sheet Title:

NEW SITE PLAN
PHASE - 2

Project Number: 22-008

Sheet Number: ASP-02



cdpa

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Key Plan: NO SCALE

Project Name and Client:

ADDRESS:
29899 MICHIGAN AVE.
INKSTER, MICHIGAN

Client:

INKSTER
MICROBUSINESS LLC
4312 E. GRAND RIVER AVE.
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Seal:



Date Issued For

04/12/2022 CLIENT REVIEW

04/26/2022 REVIEW

05/13/2022 CITY REVIEW

Drawn: E.D.

Checked: N.S.

Approved: N.S.

Sheet Title:

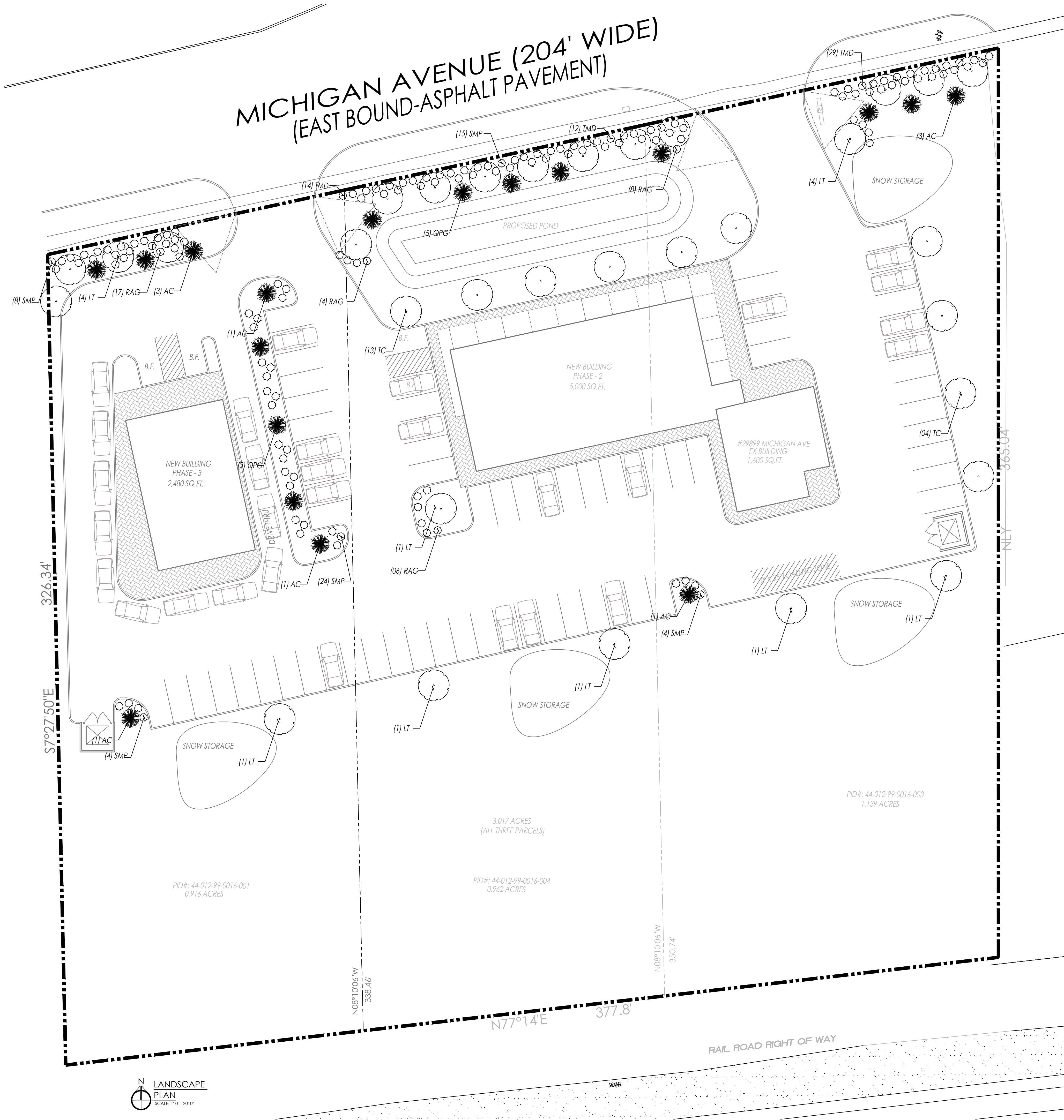
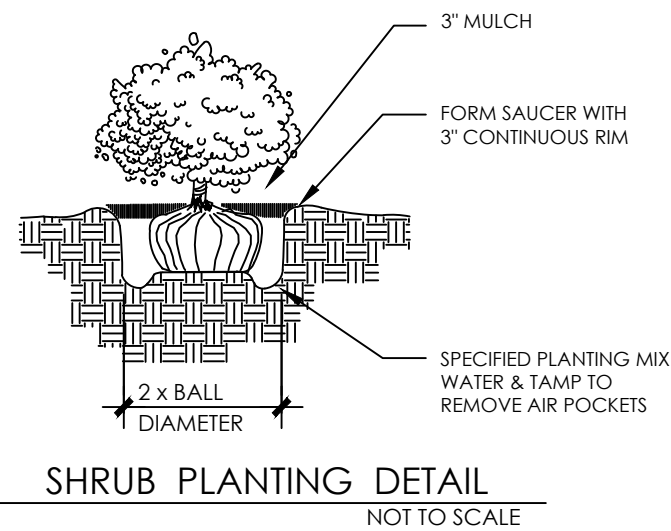
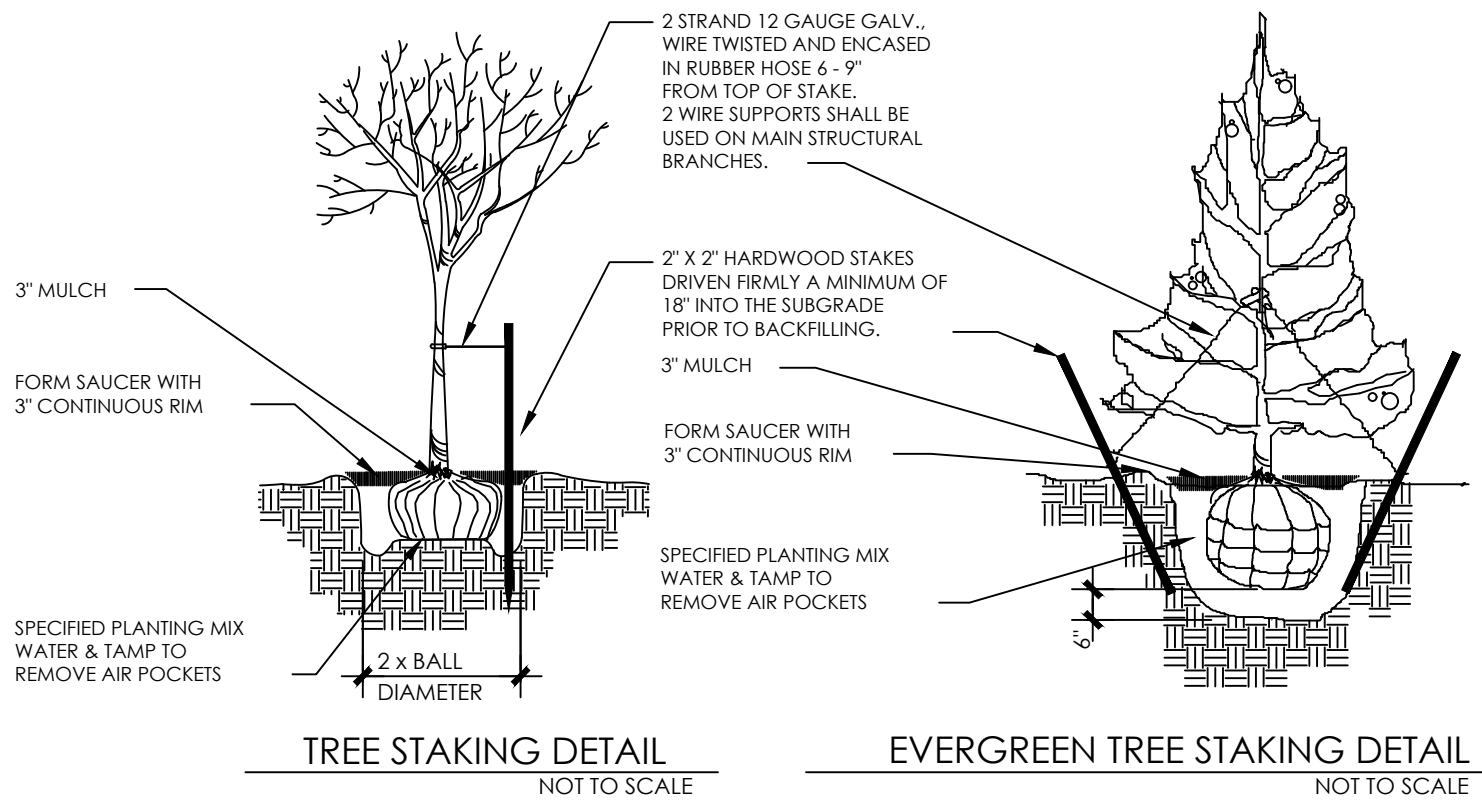
NEW SITE PLAN
PHASE - 3

Project Number: 22-008

Sheet Number: ASP-03

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PLANT LIST			
KEY	QUANTITY	NAME	SIZE
TC	17	GREENSPIRE EUROPEAN LINDEN	2 1/2" CAL. B&B
LT	14	TULIPETREE	2 1/2" CAL. B&B
QPG	08	GREEN PILLAR PIN OAK	2 1/2" CAL. B&B
AC	10	SERVICEBERRY	8'-10' HT. B&B
TMD	55	DENSIFORMIS YEW	30" HT. B&B
SMP	55	MISS KIM DWARF LILAC	30" HT. 5 GAL. POT
RAG	35	GRO-LOW FRAGRANT SUMAC	24" HT. 3 GAL. POT



cdpa

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+PLANNERS

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Key Plan: NO SCALE

Project Name and Client:

ADDRESS:
29899 MICHIGAN AVE.
INKSTER, MICHIGAN

Client:
INKSTER
MICROBUSINESS LLC

4312 E. GRAND RIVER AVE.
HOWELL MI. 48843

Seal:



Date Issued For

04/12/2022 CLIENT REVIEW

04/26/2022 REVIEW

05/13/2022 CITY REVIEW

Drawn: E.D.

Checked: N.S.

Approved: N.S.

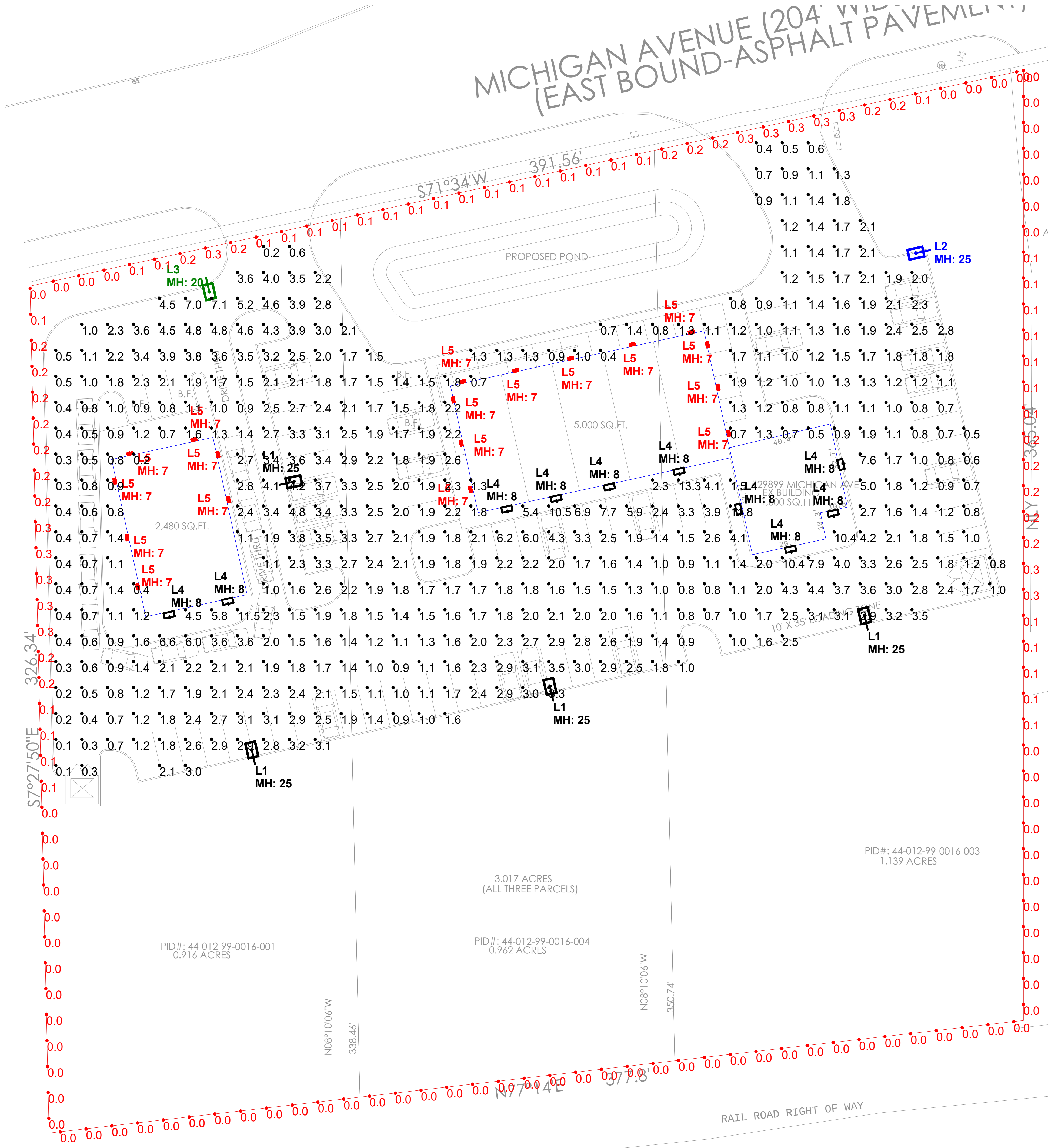
Sheet Title:

LANDSCAPE
SITE PLAN

Project Number: 22-008

Sheet Number: ASP-04

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Scale: 1 inch= 20 Ft.

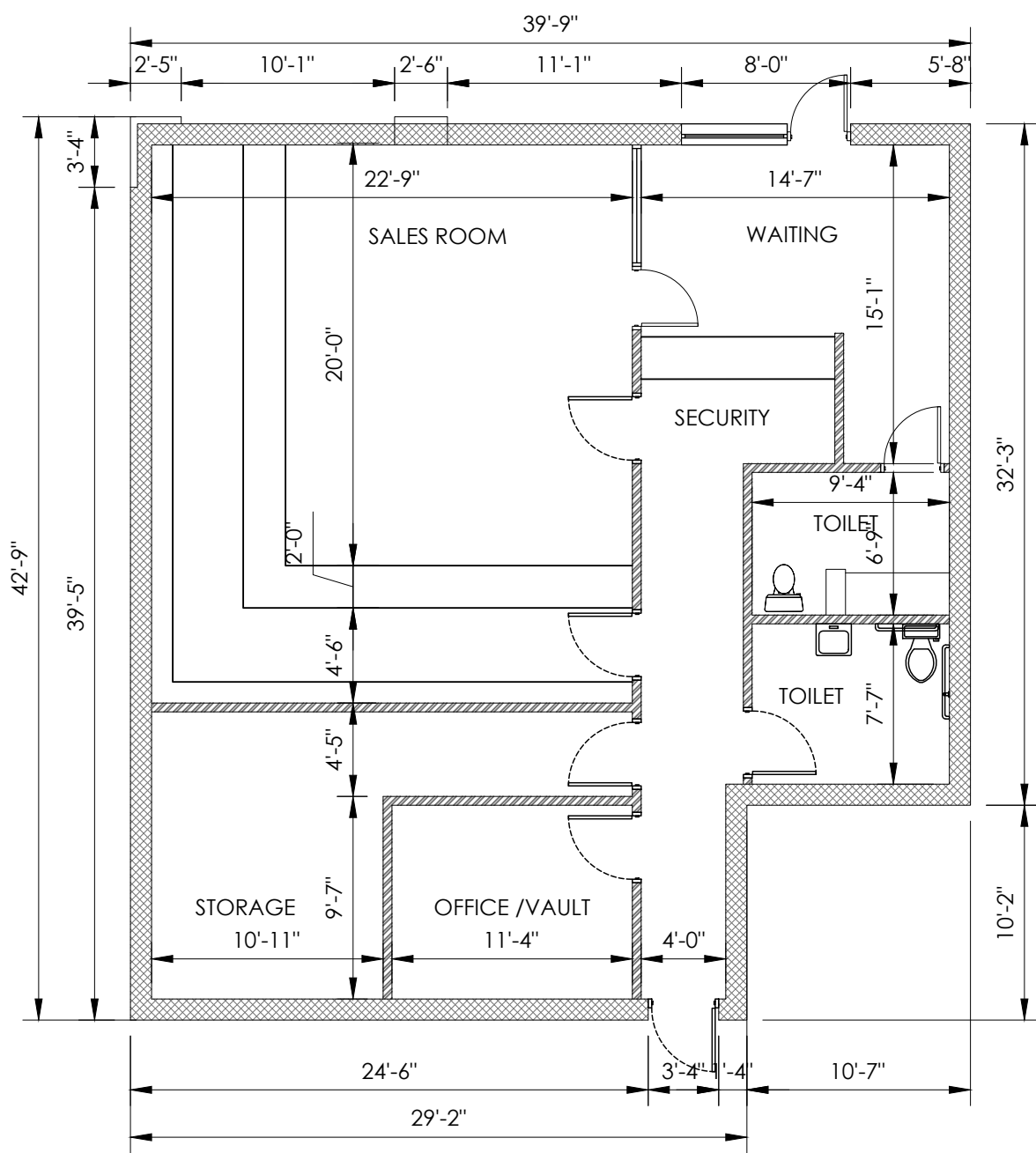
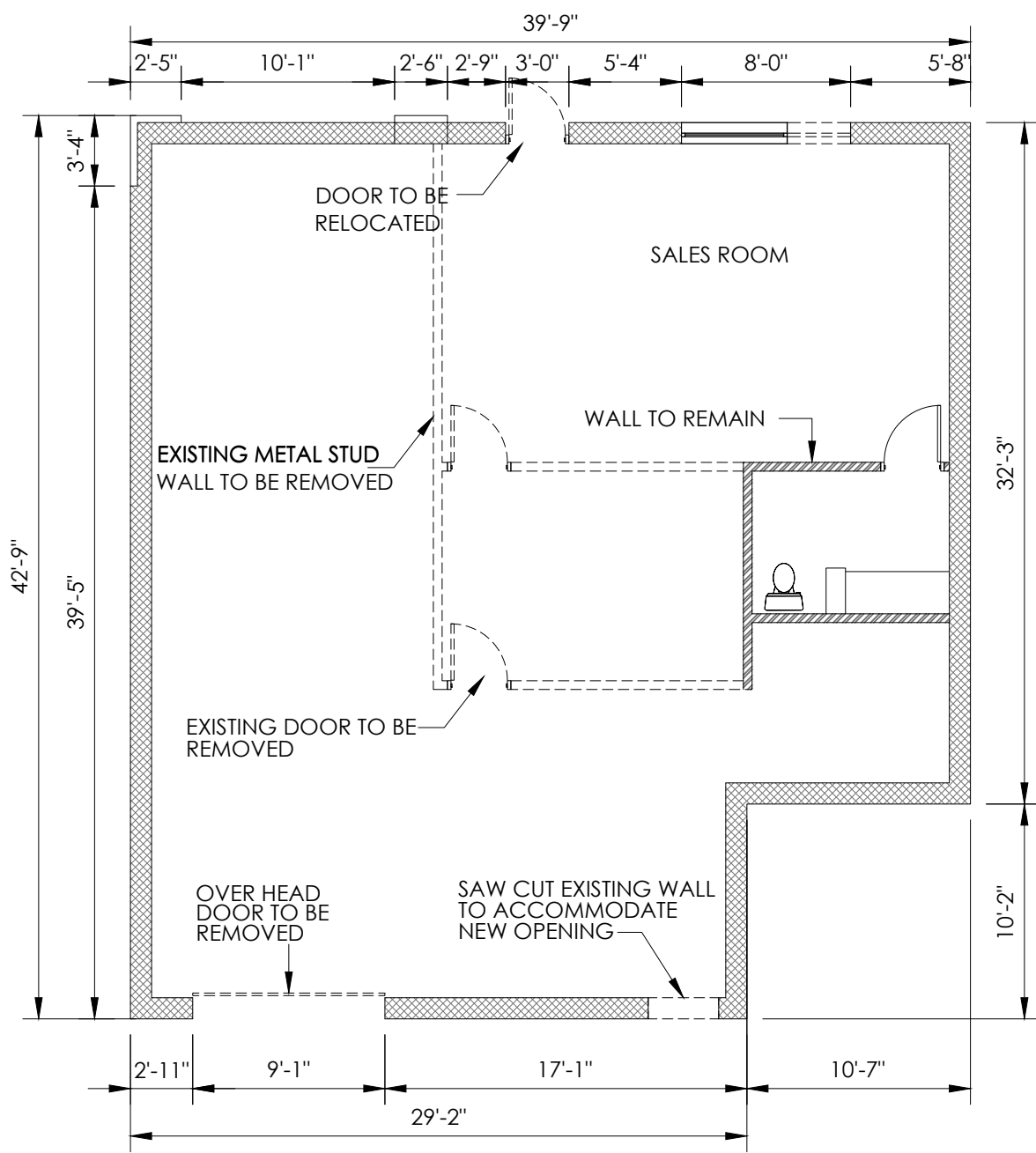
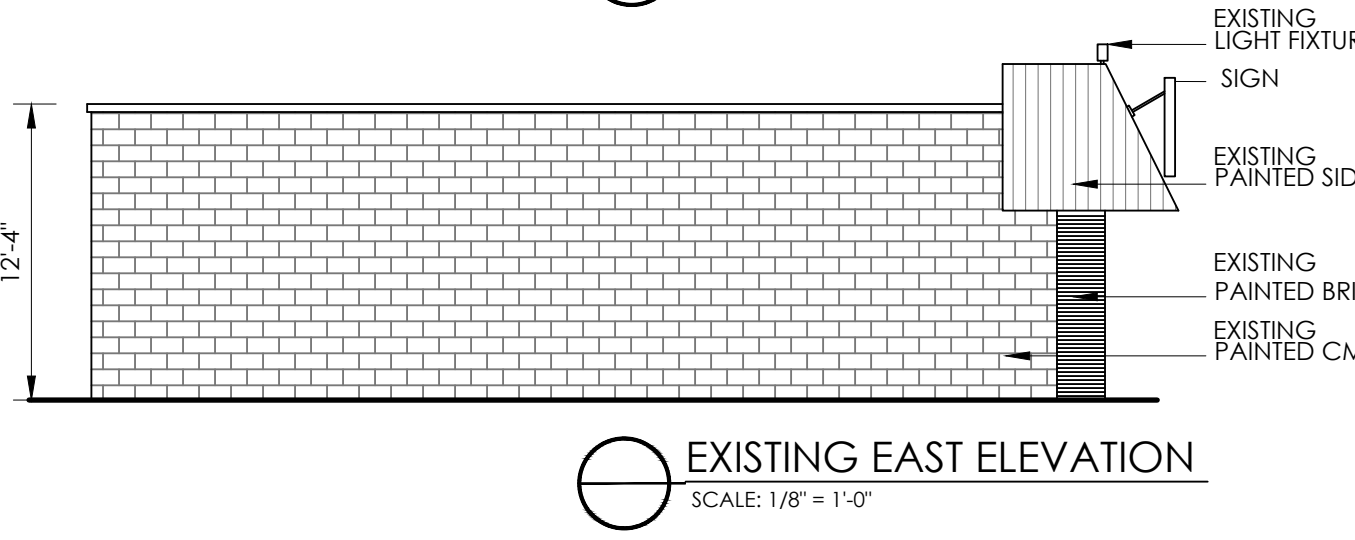
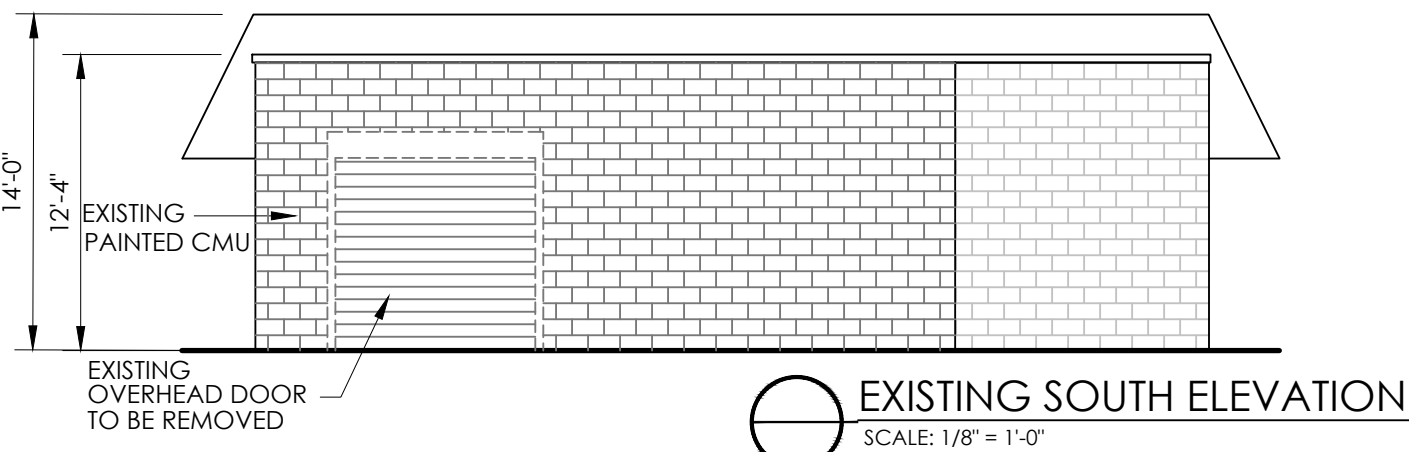
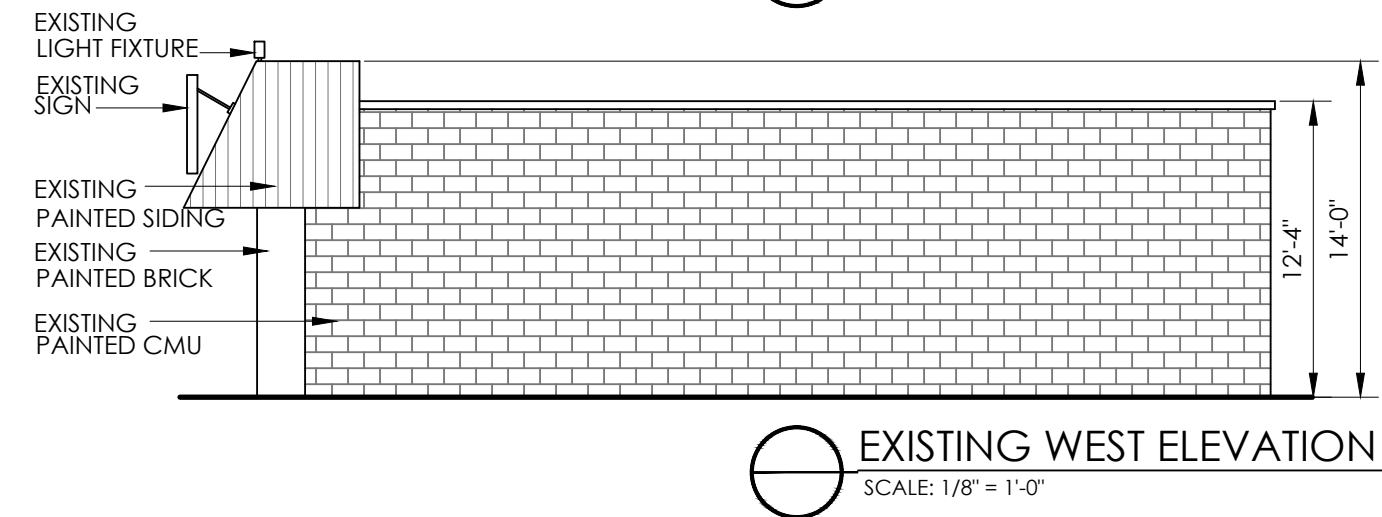
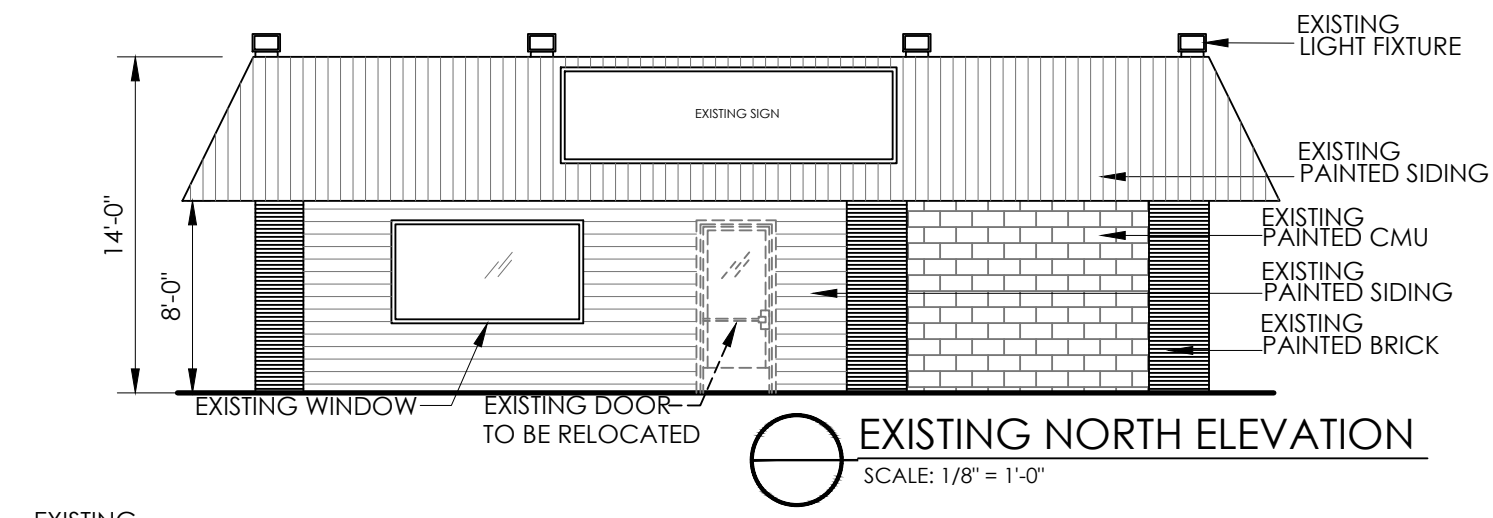
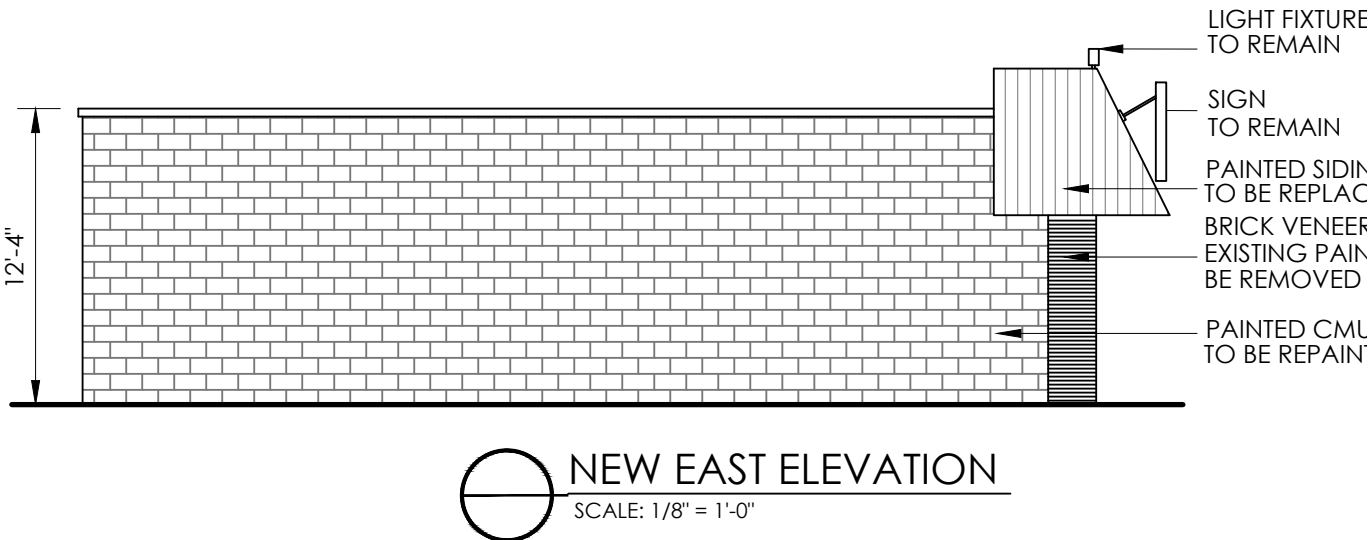
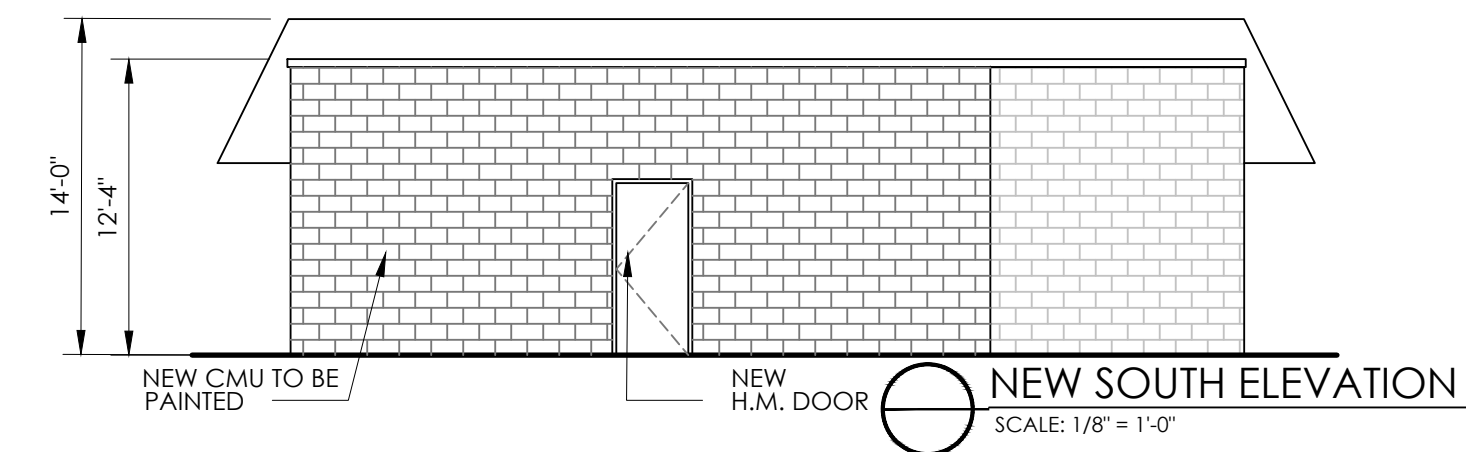
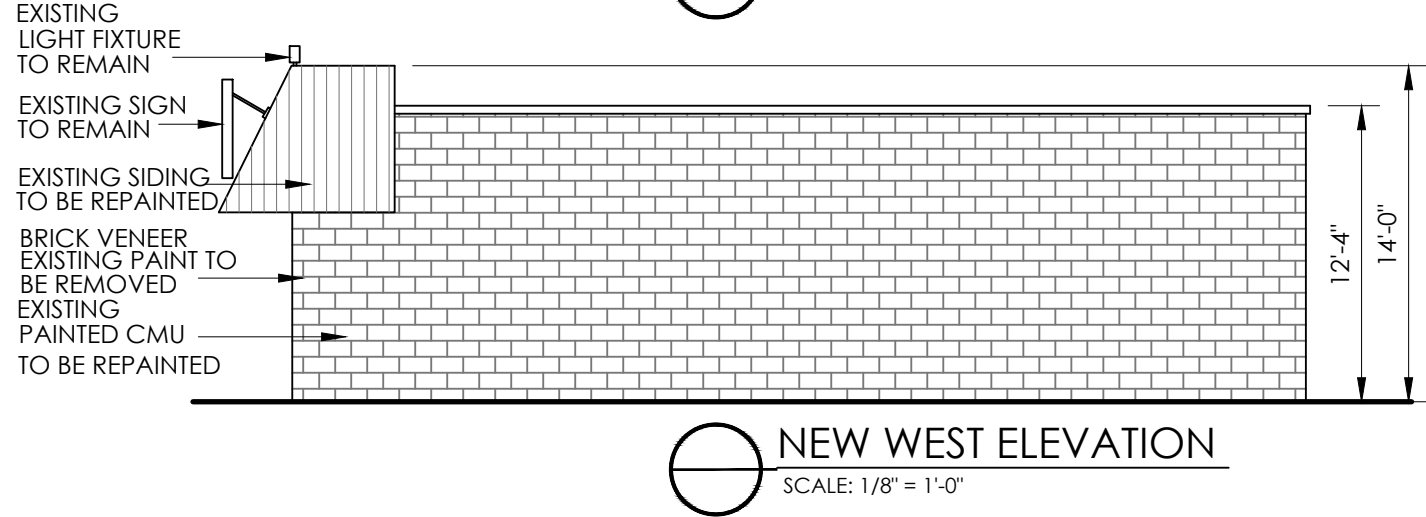
- NOTE
1. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF LAYOUT TO EXISTING/FUTURE FIELD CONDITIONS AND ALL MANDATORY BUILDING AND LIFE SAFETY CODES AND COMPLIANCE.
 2. LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS/LEDS, AND OTHER VARIABLE FIELD CONDITIONS.
 3. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.
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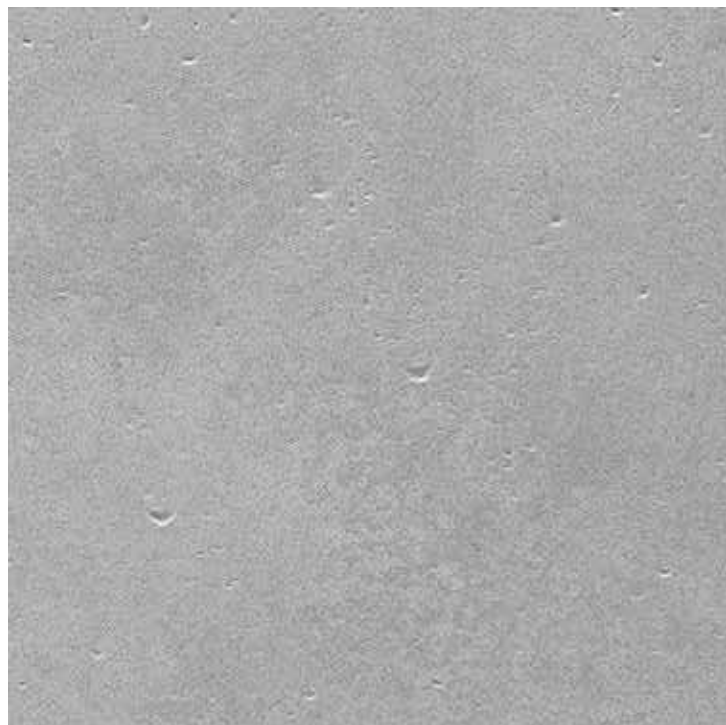
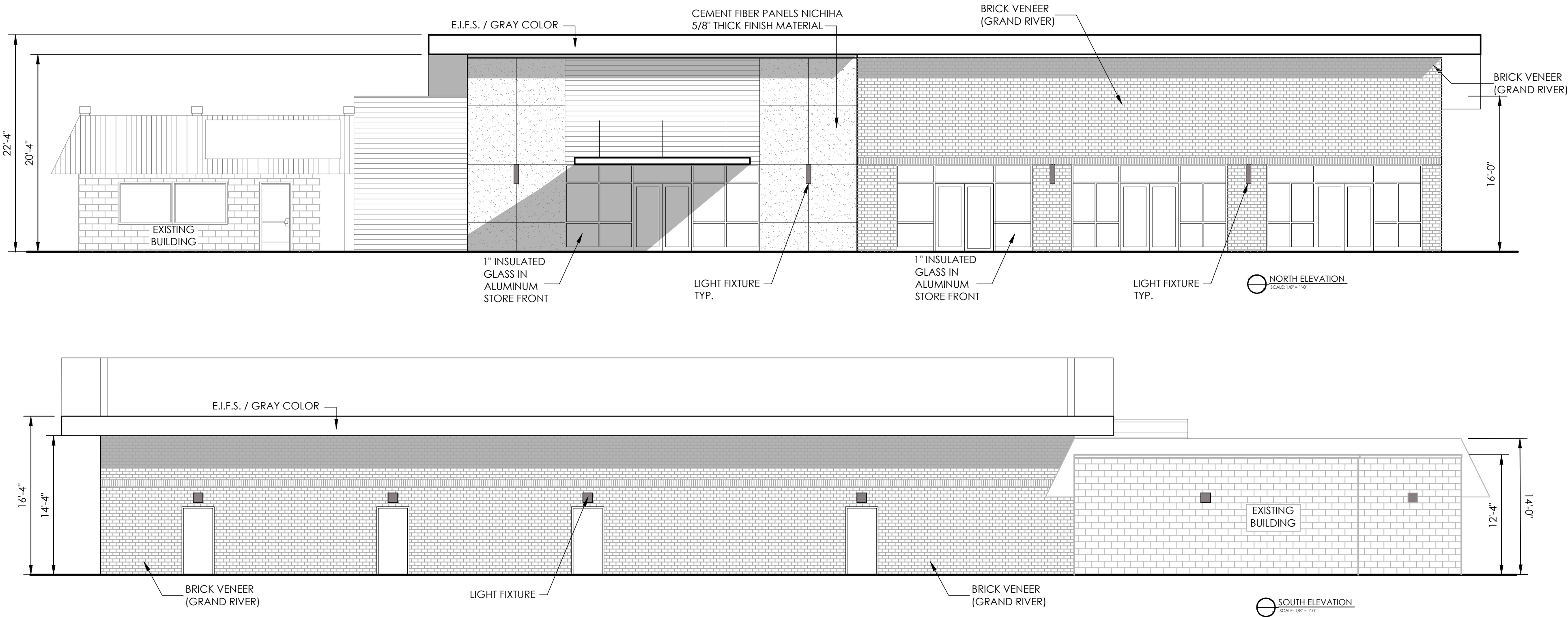
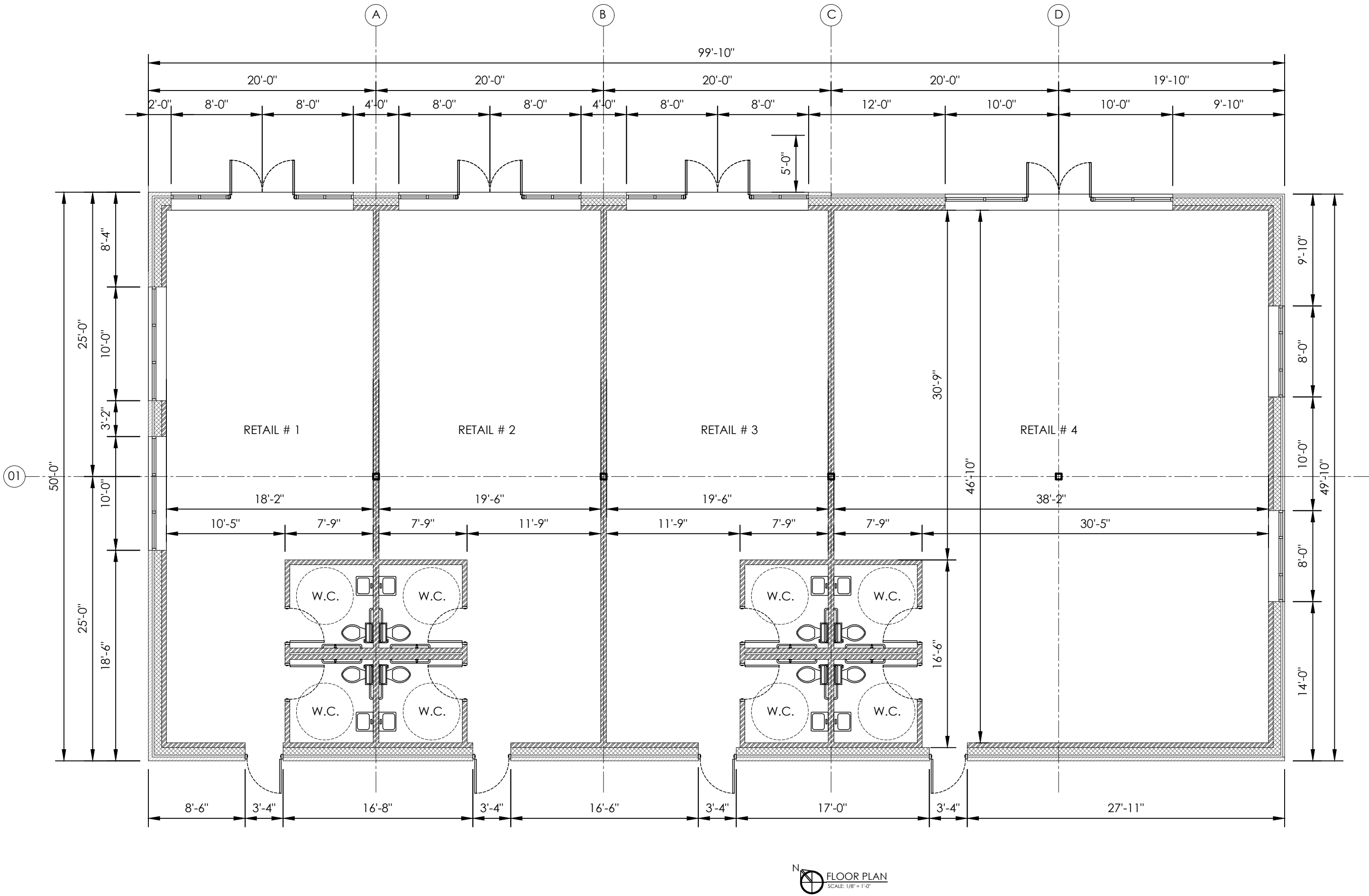
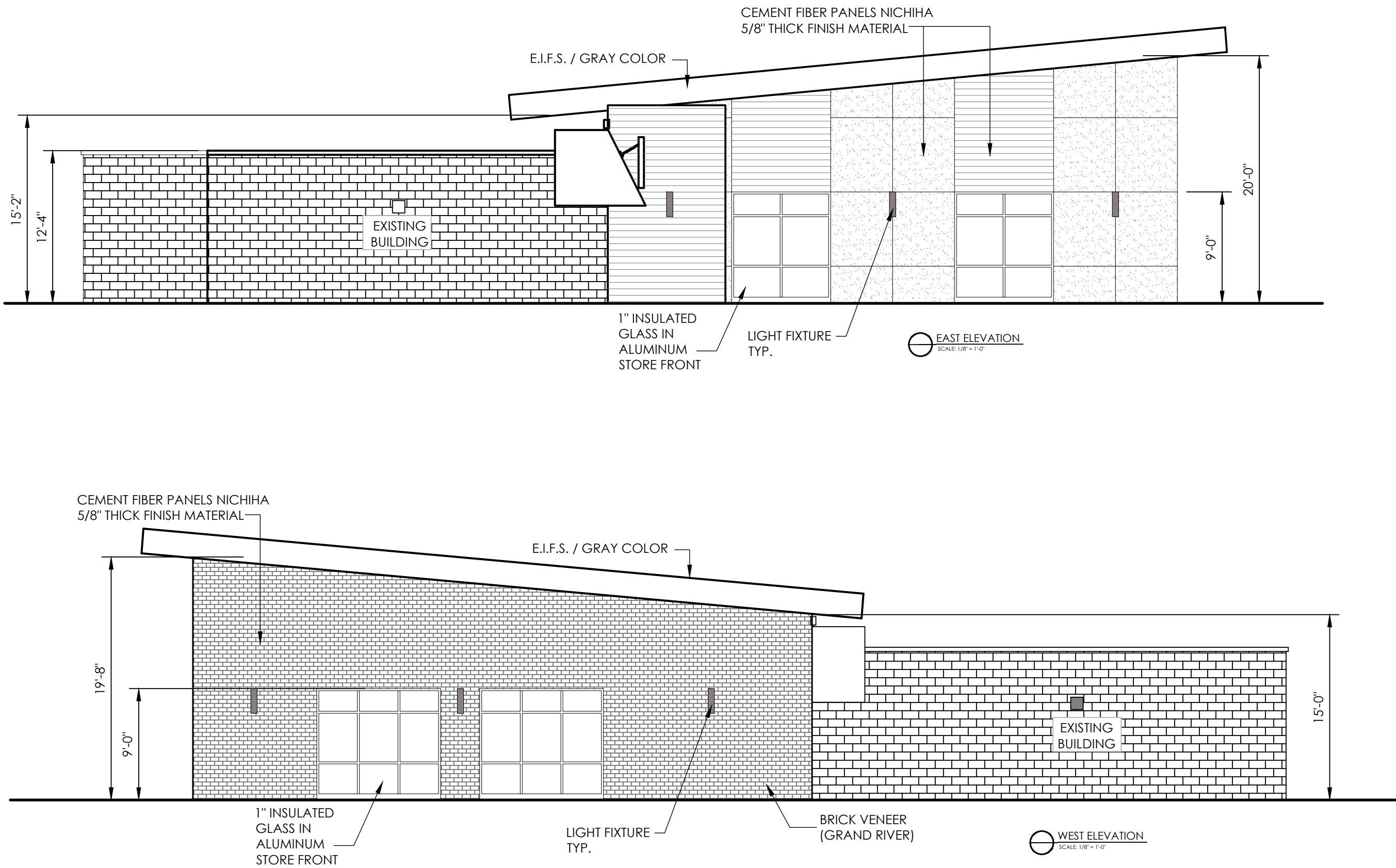
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	4	L1	0.900	MCGRAW EDISON GALN-SA3C-740-U-T4FT	160	20941
	1	L2	0.900	MCGRAW EDISON GALN-SA3C-740-U-T4FT-HSS	160	15113
	1	L3	0.900	MCGRAW EDISON GALN-SA3C-740-U-SL3-HSS	160	17361
	10	L4	0.900	LUMARK AXCS2A	20.7	2561
	18	L5	0.900	GLIGHTING GL-5470-B-S-XX-XX-XX	14	1324

Calculation Summary						
Label	Units	Avg	Max	Min	Max/Min	Avg/Min
Parking Lot	Fc	2.10	13.3	0.1	133.00	21.00
Property Line	Fc	0.08	0.3	0.0	N.A.	N.A.

PHOTOMETRIC CALCULATION POINTS ARE TAKEN AT GRADE LEVEL.

MOUNTING HEIGHTS ARE INDICATED ADJACENT TO LUMINAIRES IN PLAN (MH:XX).





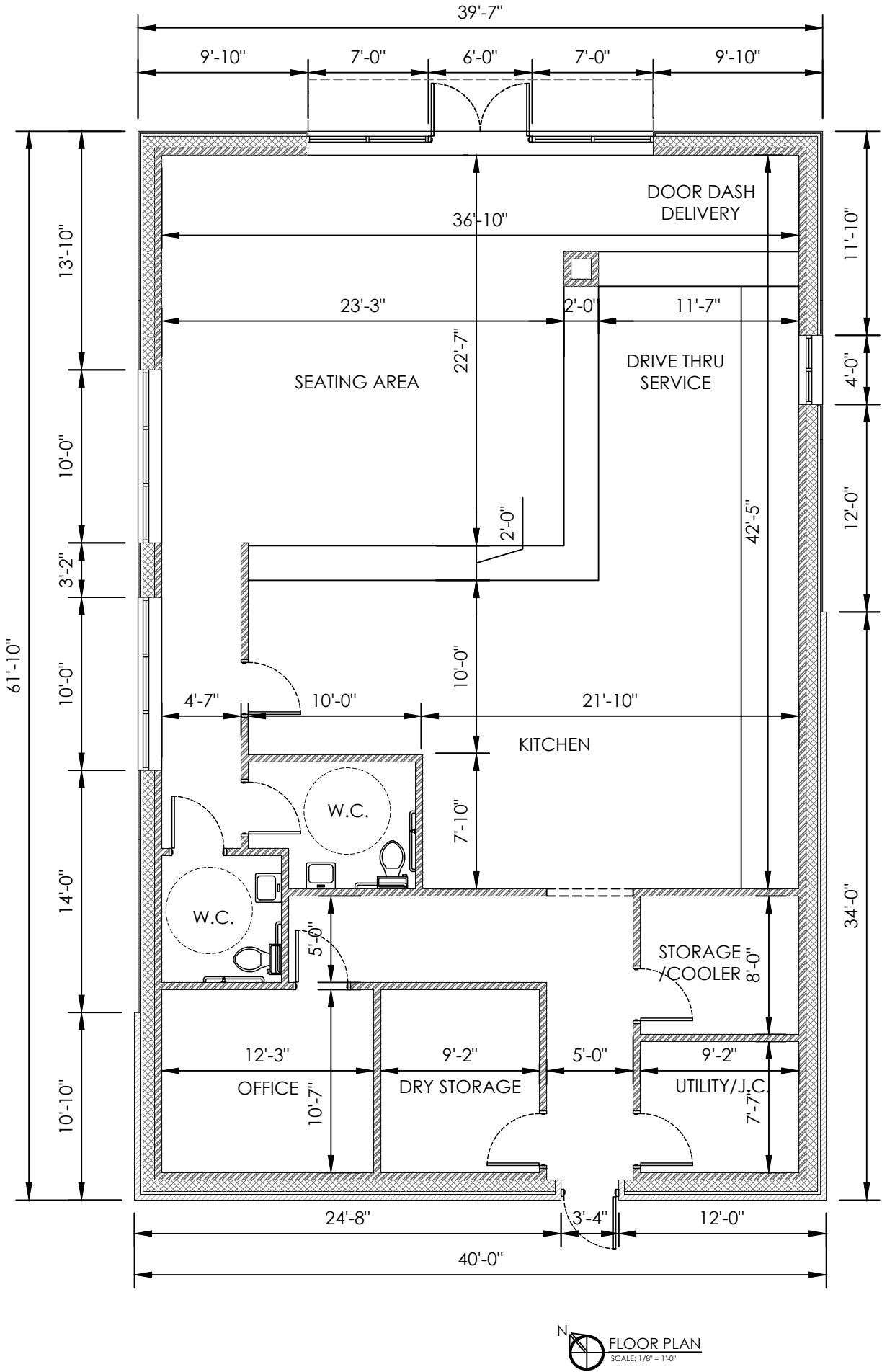
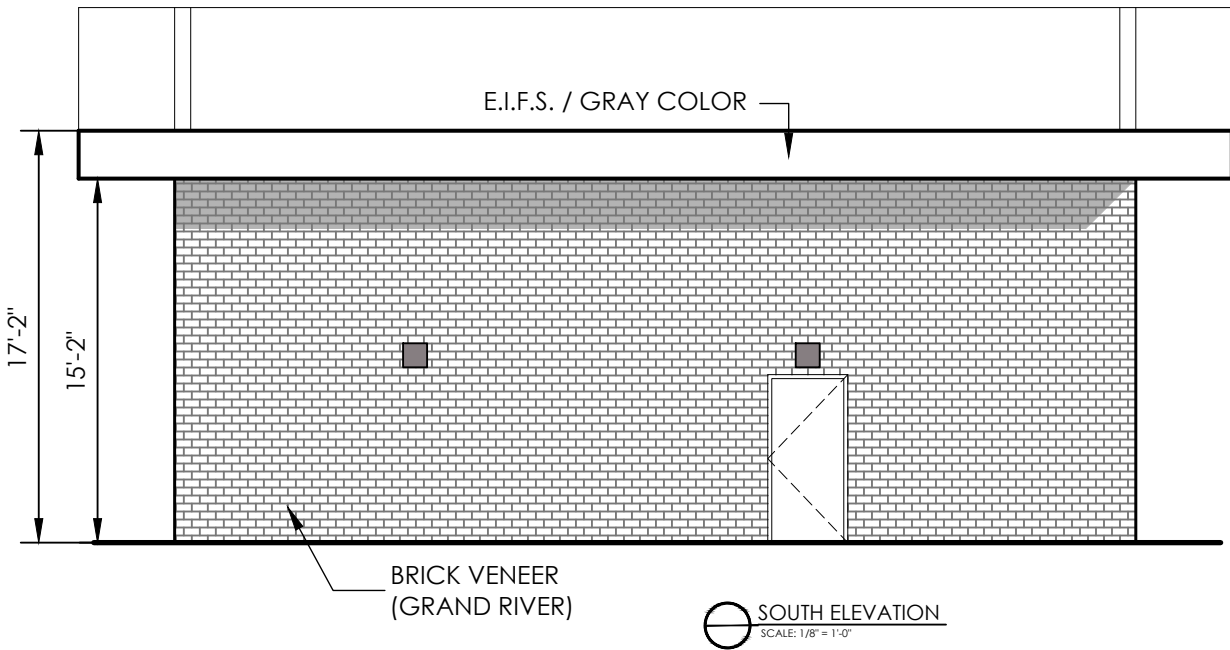
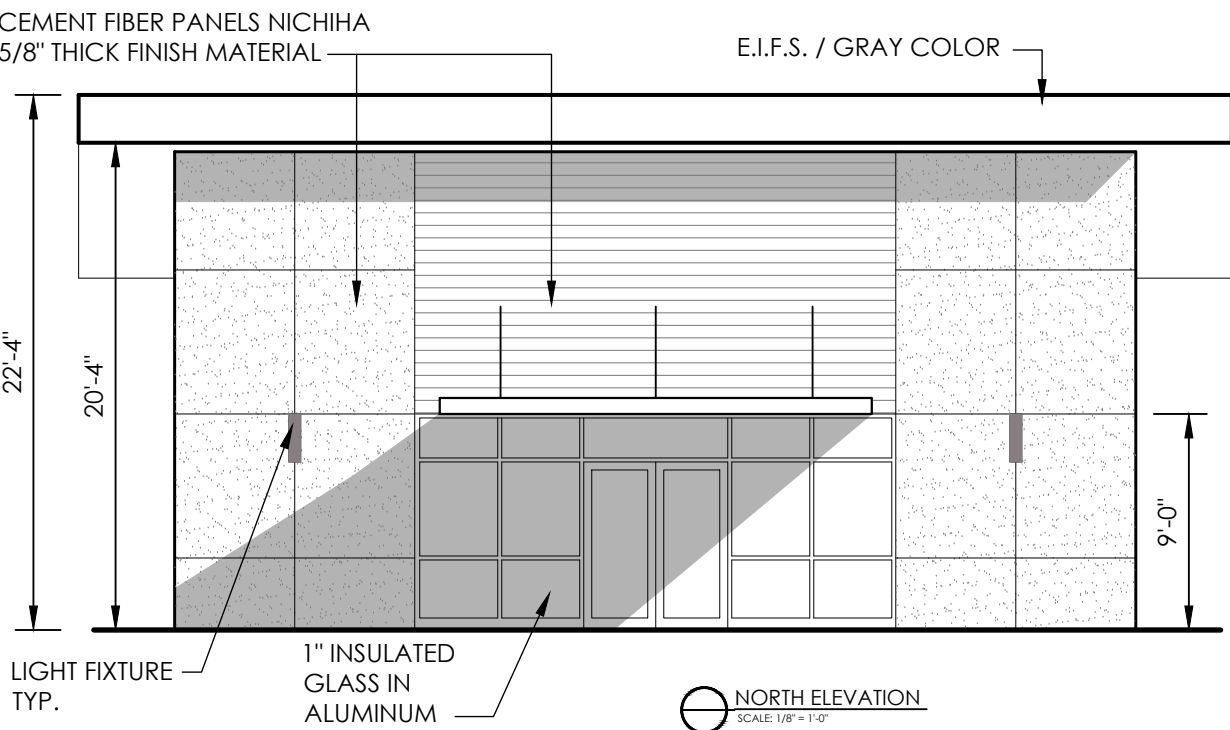
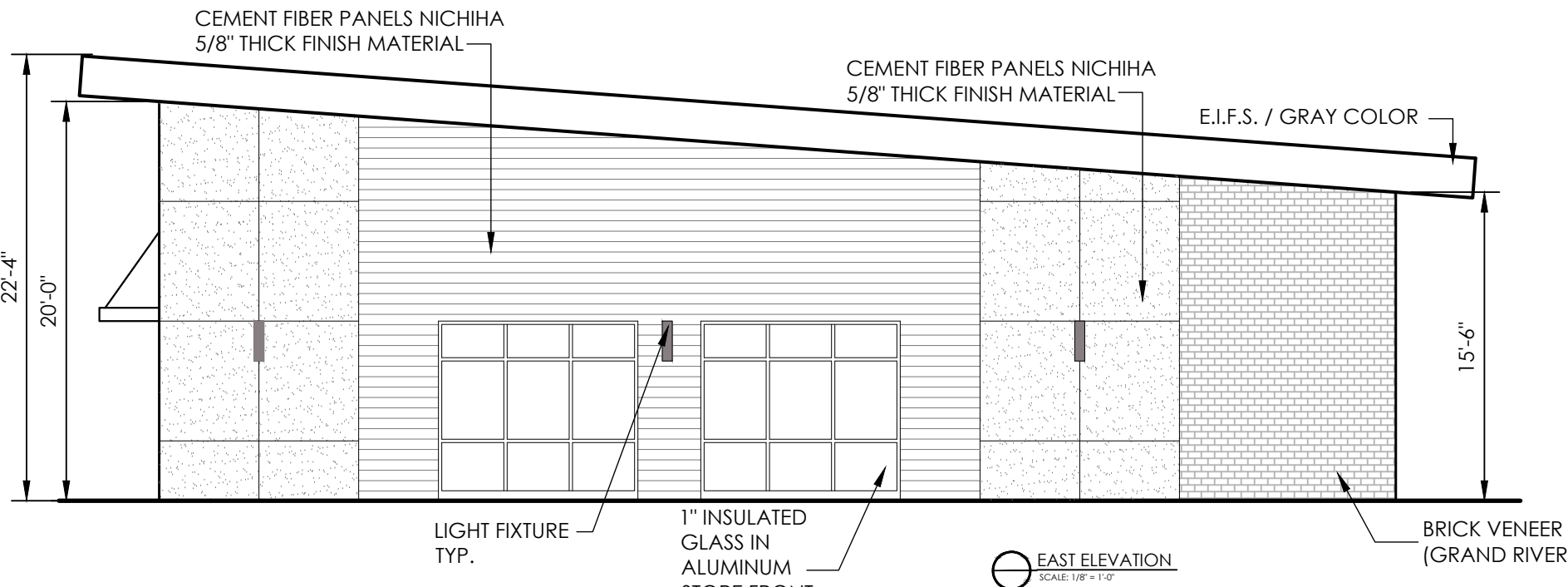
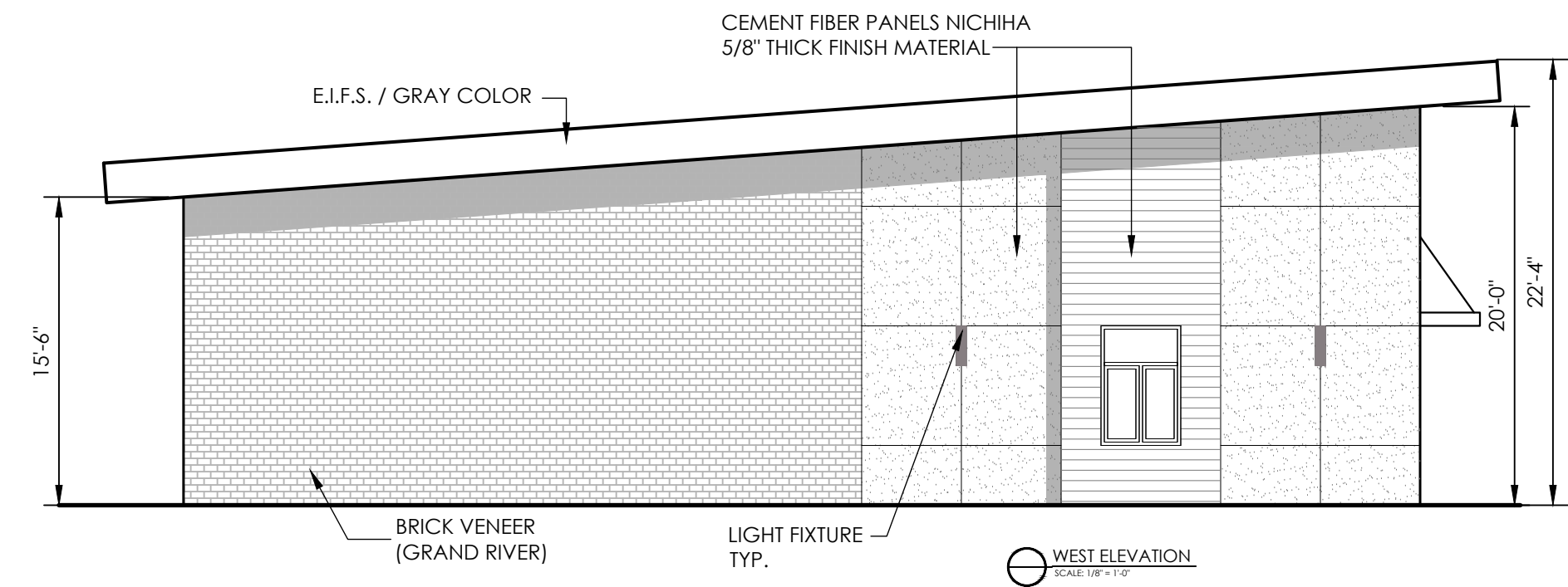
NICHHA CEMENT FIBER
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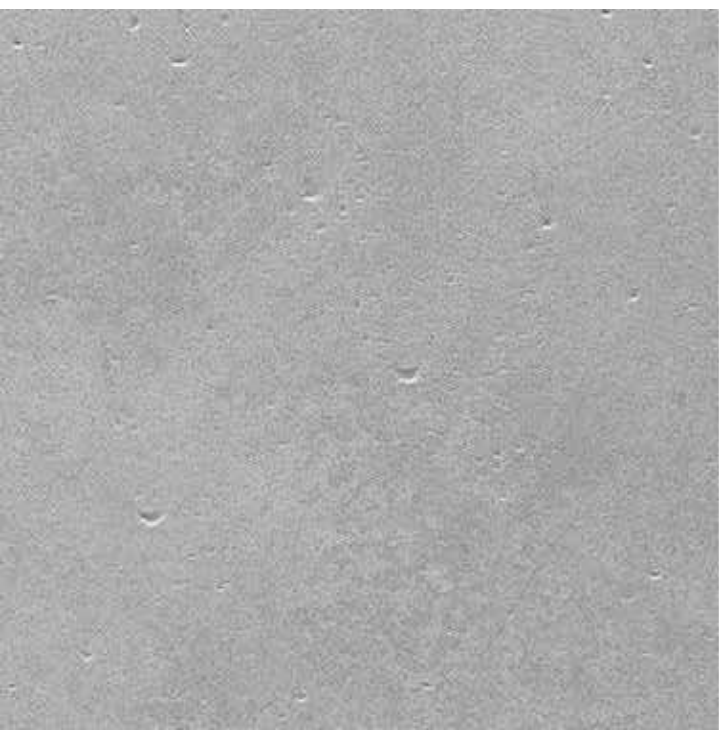
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PANEL, VINTAGE WOOD



BRICK VENEER - GRAND RIVER



BRICK VENEER - GRAND RIVER



NICHHA CEMENT FIBER
PANEL, CONCRETE LOOK



NICHHA CEMENT FIBER
PANEL, VINTAGE WOOD



MCKENNA

July 18, 2022

City of Inkster
26215 Trowbridge
Inkster, MI 48141

Subject: Special Land Use and Site Plan Review for a proposed Hookah Lounge and Small Restaurant
Location: 364 Inkster Road (*Parcel ID 44-003-03-0002-302*)
Zoning: B-2, Thoroughfare Mixed-Use District
Project #: 21-SP16 & 21SL-17

Dear Commissioners,

The City of Inkster Planning Department has reviewed the above-referenced Site Plan application for a proposed hookah lounge and small restaurant at the former Fattoush House Middle Eastern Cuisine Restaurant at 364 Inkster Road. The carry-out restaurant will operate as a separate business from the hookah lounge. This review is based on the site plan application dated October 20, 2021, and resubmitted site plans sent on June 7, 2022. Due to the proposed use being a bar/lounge in nature, an additional review for a Special Land Use is also required. A public hearing was held at the January 10, 2022 Planning Commission meeting to review the Special Land Use request. No members of the public brought comment forward. However, it was decided by Planning Commission that the Applicant needs to provide more revisions and information to their site plan.

PROJECT SUMMARY

The site is approximately 0.51-acres (Wayne County GIS) and is located on the west side of Inkster Road, north of Somerset Avenue. The site is adjacent to an urgent care business and associated parking lot to the south. The applicant proposes to re-occupy the vacant 3,960 square foot building and associated parking lot. The applicant needs to provide clarity on the western parcel and relationship to the main site. The site is located in the B-2, Thoroughfare Mixed Use District.



Subject site



HEADQUARTERS

235 East Main Street
Suite 105
Northville, Michigan 48167

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✉ 248.596.0930
MCKA.COM

Communities for real life.



Figure 1 Google image from 2020 of project site

RECOMMENDATIONS

Special Land Use Consideration. Pending any comments during the Planning Commission meeting, we recommend that Planning Commission consider the following motion:

I move to recommend approval for the proposed special land use for a hookah lounge establishment at 364 Inkster Road (Parcel ID 44-003-03-0002-302) to City Council, with the required conditions listed below:

- 1. In order to satisfy Standard 3: Improvement to Community, it is recommended that the applicant move the restaurant to the eastern side of the building and have a main entrance off Inkster Rd. This could be done by creating a shared front lobby with the Hookah Lounge. Furthermore, it is recommended that the applicant provide a pedestrian walkway to the eastern side of the restaurant from Inkster Rd.*
- 2. Receive site plan approval.*
- 3. Receive approval of a security plan by the Inkster Police Department.*

Site Plan Consideration. Provided there is consensus on the Commission regarding the special land use review, we recommend the Planning Commission consider the motion stated below:



I move to approve the proposed hookah lounge establishment and restaurant at 364 Inkster Road (Parcel ID 44-003-03-0002-302), provided that special land use approval is granted by City Council and contingent on the following:

1. Provide clarity on the western parcel and its relationship to the main site. If the two parcels are separate, the applicant needs to provide a lot combination and potential land redivision.
2. Provide a pdf of the floor plan for the restaurant and label the floor plan correctly.
3. Provide a total glass area of 30% along the eastern elevation.
4. Provide information on façade colors and materials if existing features are changing.
5. It is recommended to re-locate the restaurant to have an access point along the eastern side of the building. This can be done by creating a front-entrance lobby with shared restrooms and separate entrances for the restaurant and hookah lounge.
6. It is recommended to add a dedicated pedestrian walkway from Inkster Rd. to the eastern building entrance.
7. Perform all of the listed requirements in the Landscaping section:
 - a. Right of Way: Deciduous trees: Plant 4 trees within the right-of-way;
 - b. Right of Way: Ornamental trees: Plant 2 trees within the right-of-way;
 - c. Planted yard area trees: Provide total planted yard area and then plant 1 tree per 3,000 SF;
 - d. Parking Lot Trees: Add the required terminal landscape island and add landscaping to the islands;
 - e. Parking Lot: Terminal landscape island: Add landscape island to the west of the first parking row directly north of the building entrance.
 - f. Parking Lot: Perimeter deciduous trees: Plant additional 1 tree;
 - g. Parking Lot: Perimeter ornamental trees: Plant additional 2 trees ;
 - h. Parking Lot: Perimeter shrubs: Plant additional shrubs to create a continuous screen; and
 - i. Irrigation: Provide an irrigation system and detail on site plan where it will be located.
2. Provide information on the material of the dumpster screening wall.
3. Remove two parking spaces as outlined in the review to improve pedestrian connectivity and meet terminal landscaping island requirements.
4. Provide a lighting fixture cut sheet with required details.
5. Provide a Security Plan with the required details.
6. Receive approval from the City Engineer and Fire Chief on Impact of Public Services; Vehicular Access and Circulation; Emergency Access and Vulnerability to Hazards; and
7. Address any other comments raised by the Design Review Team.

Respectfully submitted,

McKENNA

Mara Braciszewski
Associate Planner

Kyle Mucha, AICP
Senior Planner



Special Land Use Review

Standards for Special Land Use are set forth by [Section 155.289](#). This project is reviewed against the City's [Zoning Ordinance](#), [Master Plan](#), existing site conditions, and sound planning and design principles. We offer the following comments for your consideration; underlined items require additional discussion and/or identify outstanding items to be addressed.

1. HARMONY WITH MASTER PLAN

Will be harmonious and in accordance with the general objectives of the Master Land Use Plan.

Findings: In accordance with the 2017 Master Plan, the subject site Future Land Use (FLU) is designated as Corridor Convenience Retail, which permits daily services and goods to be readily available for the community. Permitted uses include retail and office uses on the first floor and office and residential on the floors above. Examples of proposed establishments for this Future Land Use category include food stores, hardware, drug stores, dry cleaners, banks, professional offices and similar uses.

The use of a hookah lounge does not fully align with the Future Land Use establishment examples for the Corridor Convenience Retail District. However, the applicant also seeks to open a small restaurant, which does satisfy this goal. Furthermore, Goal #1 of the Master Plan states, "continue economic development activities". Within this goal, objectives A (develop and initiate a business recruitment and retention plan) D (infill/redevelop target opportunity sites, e.g., vacant lots). Redeveloping the vacant (unused) site with a hookah lounge would satisfy the two objectives of Goal #1, therefore is supported by planning staff.

2. HARMONY WITH EXISTING CHARACTER

Will be designed, constructed, operated, and maintained in harmony with the existing and intended character of the general area and will not change the essential character of the area.

Findings: No changes are proposed to existing structure. The applicant has indicated the intent to bring the site landscaping into closer compliance with the Zoning Ordinance: currently the site is not in conformance with zoning regulations. The adaptive reuse of the unused building will bring the subject property into further compliance with the visual and physical harmoniousness of the area.

3. IMPROVEMENT TO THE COMMUNITY

Will represent a visual, physical and economic improvement to the property in the immediate vicinity and to the community as a whole.

Findings: An active use on this site, as proposed, will be an economic improvement to the vicinity. However, there are some elements that the applicant could change to improve pedestrian access of the site such as creating a designated walking path from Inkster Rd to the eastern entrance and shifting the restaurant so that it directly abuts Inkster Rd.



4. ADEQUATE PUBLIC SERVICES AND FACILITIES

Will be served adequately by essential public services and facilities, such as streets, drainage structures, sewer and water infrastructure, police and fire protection and refuse disposal, or that persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately for such services.

Findings: The capacity of the City's infrastructure and services appears to be sufficient to accommodate the proposed facility. We will defer any additional comments regarding this section to the City Engineer.

5. SMOKE, FUME, GLARE, NOISE, VIBRATION OR ODOR POLLUTION

Will not involve uses, activities, processes, materials, equipment, and conditions of operation that will be detrimental to any person or property or to the general welfare by reason of excessive smoke, fumes, glare, noise, vibration, odors, traffic generation or other nuisances generated by the proposed use.

Findings: The subject site is surrounded by other parcels zoned B-2, Thoroughfare Mixed Use. As such, the anticipated impact of a hookah lounge is not expected to detract from the area.

6. REDUCTION OF ECONOMIC VIABILITY

Will not erode or reduce the economic viability of other existing land uses. Consideration shall be given to the compatibility of other existing uses with the proposed use and maintaining land values within the City.

Findings: The subject site is currently vacant and does not provide economic viability to the surrounding existing land uses. The proposed use is anticipated to increase economic viability.

7. EXCESSIVE OR ADDITIONAL COSTS TO PUBLIC SERVICES

Will not create excessive additional requirements at public costs for public facilities and services and will not be determinate to the economic welfare of the community.

Findings: The subject site is not anticipated to create excessive or additional costs to public services.

8. CONSISTENT WITH INTENT OF ZONING ORDINANCE

Will be consistent with the intent and purpose of the Zoning Ordinance and comply with all specific standards established for each use.

Findings: The applicant continues to move forward in good faith by submitting a revised site plan for review by city staff. This finding can be made upon successful approval of the site plan



Site Plan Review

Standards for Site Plan Approval are set forth by [Section 155.287](#). This project is reviewed against the City's [Zoning Ordinance](#), [Master Plan](#), existing site conditions, and sound planning and design principles. We offer the following comments for your consideration; underlined items require additional discussion and/or identify outstanding items to be addressed.

1. ZONING & USE (§155.047)

Findings: The site is approximately 0.51-acres (Wayne County GIS) and is located on the west side of Inkster Road, north of Somerset Avenue. The site is adjacent to an urgent care business and associated parking lot to the south. The applicant proposes to occupy the vacant 3,960 square foot building and associated parking lot. The site is located in the B-2, Thoroughfare Mixed Use District. The use is appropriate for this district.

The following chart provides information on existing land use and current zoning of the subject site and surrounding uses.

Location	Existing Land Use	Future Land Use	Zoning
Subject Site	Vacant	Commercial	B-2, Thoroughfare Mixed Use
North	Vacant/Undeveloped	Commercial	B-2, Thoroughfare Mixed Use
East	Office/Professional	Commercial	B-2, Thoroughfare Mixed Use
South	Office/Professional	Commercial	B-2, Thoroughfare Mixed Use
West	Residential	Commercial	B-2, Thoroughfare Mixed Use

2. DIMENSIONAL STANDARDS (§155.061)

Site elements and the relationship between the various uses on the site shall be designed and located so that the proposed development is aesthetically pleasing and harmonious with adjacent existing and prospective development of contiguous properties and the general planning area. Buildings and structures will meet or exceed setback standards, build-to lines, height and other dimensional standards, and placed to preserve environmentally sensitive areas.

Findings: The site contains a two-story building, in which the applicant seeks to re-occupy. No new additions are proposed at this time. Should the applicant seek to expand the building footprint, dimensional requirements would need to be satisfied.

Dimensional Measurement	Required	Proposed	Comments
Min. Front Yard Setback	None	NA	In compliance



Min. Side Yard Setback (east)**	None	NA	In compliance
Min. Side Yard Setback (west)**	None	NA	In compliance
Min. Rear Yard Setback	None	NA	In compliance
Max. Height	40 ft.	No changes proposed	NA
Max. Lot Coverage	Based on off-street parking, loading, greenbelt screening, and setbacks.	*	-

* The minimum lot area and width, and the maximum percent of building coverage shall be determined on the basis of required off-street parking, loading, greenbelt screening, and yard setbacks as provided herein for the respective uses and use districts.

** No side yards are required along interior side lot lines within the district, except as required in the building code.

3. ARCHITECTURAL FEATURES (§155.072)

Building design and architecture shall relate to and be harmonious with the surrounding neighborhood in terms of texture, scale, mass, proportion, materials, and color.

Findings: The color of the exterior materials must be of low-reflectance, subtle, neutral colors. While the applicant has provided sketch elevation drawings, we recommend that the applicant provide details pertaining to the color and materials of the building, if any change is proposed. Furthermore, the applicant must be the transparency requirements.

Massing. *Structures with walls greater than 1,500 square feet must incorporate building setbacks of at least 3 feet to separate the wall into facade planes not greater than 500 square feet. In addition, façades shall incorporate canopies, fascias or other distinguishing entrance features to the maximum extent feasible.*

- Walls appear to be less than 1,500 SF, therefore this standard is not applicable.

Exterior Colors / Materials. *The color of the exterior materials must be of low-reflectance, subtle, neutral colors. The use of high-intensity or reflectance, and fluorescent colors is prohibited. Building trim may exhibit brighter colors, except neon tubing is prohibited.*

- It is unclear whether or not the applicant will change the existing façade of the building. If so, the applicant will need to use appropriate colors and materials as indicated within this standard.

Façade Windows / Transparency. *At least 30% of the ground floor street facades for retail uses in a B-2 district shall be constructed with windows or other transparent materials.*

- Percentage calculations of the total glass area are not provided for the eastern elevation (street façade); the applicant must provide calculations to show that the minimum of 30% is provided. If not provided, additional windows will be required. The applicant can more easily meet this requirement by creating a eastern front-door lobby for both the restaurant and hookah lounge. The lobby can consists of both restrooms and separate entrances for each use.



Figure 2 Existing building, eastern elevation



Figure 3 Existing building, northern elevation



4. IMPACT ON PUBLIC SERVICES

Utility services, including sanitary, water and storm runoff, shall not exceed the existing or planned capacity of such services, and shall be developed in the best interest of the public health, safety, and welfare of the community. The proposed development shall be designed and located so that public services, including streets and sidewalks, police and fire protection, and public schools have sufficient capacity to properly serve the development, and so that such services will not be adversely affected by the proposed development.

Findings: This item is subject to approval by the City Engineer and City Fire Chief.

5. VEHICULAR ACCESS & CIRCULATION

The vehicular circulation system planned for the proposed development shall be in the best interest of the public health, safety, and welfare in regard to on site circulation, onsite parking, the overall circulation of the neighborhood and community, egress/ingress to the site, vehicular turning movements related to parking areas, loading areas, street intersections, street gradient, site distance and potential hazards to the normal flow of traffic both on and off site.

Findings: Further analysis of vehicular circulation is subject to the review of the City Engineer and Wayne County Road Commission. The site plan proposes to use two existing curb cuts: one two-way access and one one-way access. The one-way access will have signage indicating that it is one-way. The City Engineer needs to approve the vehicular access and circulation plan. The applicant must also re-stripe the parking lot and add painted arrows indicating the order of traffic flow.

6. PEDESTRIAN ACCESS & CIRCULATION

The pedestrian circulation system planned for the proposed development shall be in the best interest of the public health, safety, and welfare in regards to on site circulation and the overall pedestrian circulation of the neighborhood and community.

Findings: In order to improve pedestrian access to the restaurant, it is recommended that the applicant re-locate the restaurant entrance to the eastern side of the building, as opposed to the western side. The applicant could create a front-door lobby from Inkster Rd that shares two restrooms and has separate entrances for each use: the restaurant and the hookah lounge. The front-door entrance would support energy efficiency goals and create a safer environment for guests.

It is also recommended that the applicant provide a dedicated pedestrian path from Inkster Rd sidewalk to the eastern façade entrance. In order to provide this walking path, the applicant would need to remove one parking space.

7. EMERGENCY ACCESS & VULNERABILITY TO HAZARDS

All sites and buildings must be designed to allow convenient and direct emergency access, and the emergency response needs of the proposed use(s) shall not exceed the City's emergency response capabilities.

Findings: This item is subject to approval by the City Engineer and City Fire Chief.



8. LANDSCAPING (§155.073; 155.080)

Proposed landscaping must be appropriate and of such size, location, height and quantity to ensure that the proposed development is not objectionable to nearby properties by reason of noise, fumes, flash of lights from automobiles or other lighting, interference with an adequate supply of light and air, an increase in the danger of fire, or other public safety hazard.

Findings: The required and proposed site landscaping is detailed in the table on the following page. Multiple adjustments and additions are necessary to the landscape plans to comply with the minimum ordinance requirements. Due to the scope of this project and the availability of space on the site, no waivers are recommended.

Criteria	Required	Proposed	Comments
Right-of-Way: Deciduous Trees	1 per 35 ft. (150 ft. / 35 ft.) = 4 trees	0 trees	<u>The applicant needs to plant four trees in the right-of-way, the area between the sidewalk and the road. Currently, the applicant proposes to plant 3 new Red Maples trees in the parking lot perimeter, which satisfies a different requirement. An additional four trees need to be planted in the right-of-way.</u>
Right-of-Way: Ornamental Trees	1 per 75 ft. (150 ft. / 75 ft.) = 2 trees	0 trees	<u>The applicant needs to plant two trees in the right-of-way, the area between the sidewalk and the road. Currently, the applicant proposes to plant Blue Chinese Wisterias in the parking lot perimeter, which satisfies a different requirement. An additional two trees must be planted in the right-of-way.</u>
Planted Yard Area Trees	1 per 3,000 SF	Undetermined	<u>The applicant must provide the total planted yard area square footage and required trees.</u>
Parking Lot: Interior Landscaping	5% of ±14,000 SF impervious area = 700 SF	< 550 SF	<u>The applicant needs to add the required terminal landscape island to the west of the first parking row closest to the northern building entrance. This means that the applicant must remove one parking space—the western space.</u>
Parking Lot: Trees	1 deciduous tree per 150 SF of interior area = 700 SF / 150 SF = 5 trees	= 17 trees	<u>17 trees are shown on the site plan to be around the western parking lot for the restaurant. It is unclear if these trees are existing or proposed. If proposed, it is recommended that the applicant plant them around the eastern parking lot as well.</u>



Parking Lot: Terminal Landscape Islands	At end of each parking row; min. size of 144 SF and 18 ft. long	One parking rows does not have terminal landscape island	<u>An additional landscape island is required by the in the first row of parking closest to the northern building entrance. The island needs to be placed to the west, and therefore one parking space must be removed.</u>
Parking Lot: Interior Landscape Islands	Min. size of 160 SF and 8 ft. in width; plus 1 deciduous tree per each island	-	-
Parking Lot: Divider Min. Size	8 ft. wide	-	-
Parking Lot: Divider Trees	1 deciduous or 2 ornamental trees per 25 linear ft. = 90 ft. / 25 ft. = 4 deciduous or 8 ornamental trees	-	-
Parking Lot: Divider Shrubs	Continuous hedge the entire length of the divider	-	-
Parking Lot: Wheel Stops / Curb	2 ft. min. of overhand clearance needed for any landscape areas	-	-
Curbing (General)	Concrete curbing is required along all landscape areas	Provided	In compliance.
Parking Lot: Perimeter Deciduous Trees	1 deciduous tree per 25 linear ft. = (150 ft. / 25 ft.) = 6 trees	5 trees (two existing, three proposed)	<u>While the applicant proposes to plant three additional trees and use the two existing Red Maples in this area, the applicant needs to plant an additional tree to meet this requirement. Reminder, these trees cannot be counted towards the right-of-way trees; these standards are different.</u>
Parking Lot: Perimeter Ornamental Trees	1 ornamental tree per 35 linear ft. = (150 ft. / 35 ft.) = 4 trees	2 trees	<u>While the applicant proposes to plant two I trees (Blue Chinese Wisterias) in this area, the applicant needs to plant an additional two trees to meet this requirement. Reminder, these trees cannot be counted towards the right-of-way trees; these standards are different.</u>



Parking Lot: Perimeter Shrubs	Continuous hedge of shrubs, no more than 30-inches on center	A mix. of existing shrubs, however they are spaced much greater than 30-inches on center	<u>Additional shrubs must be added to create a continuous screen where the shrubs are planted at least 30-inches on center.</u>
Snow Storage	Plant materials must be hardy, salt-tolerant groundcover	-	-
Irrigation	Automatic or drip irrigation required	Not provided	<u>An irrigation system must be provided.</u>

9. SCREENING AND BUFFER (§155.074; 155.075)

Proposed screening and buffer areas shall be appropriate and of such size, location, height and quantity to ensure that the proposed development will not be objectionable to nearby development or properties by reason of noise, fumes, flash of lights from automobiles or other lighting, interference with an adequate supply of light and air, an increase in the danger of fire, or other public safety hazard. Screening shall be provided in a manner that adequately buffers adjacent land uses and screens off-street parking, mechanical appurtenances, loading and unloading areas and storage areas from adjacent residential areas and public rights-of-way.

Findings: We find that screening and buffering is not required at this time due to adjacent properties being zoned B-2, Thoroughfare Mixed Use.

Walls. No screening wall along the property is required (as detailed in section 155.074: Walls) since this property is not directly adjacent to any residentially zoned property.

Dumpster. *Dumpsters must be screened on four sides by a masonry wall, similar in material and/or color to the main structure and must feature an opaque gate to a height at least one foot taller than the receptacle. Waste areas shall be located in the rear yards and surfaced with concrete not less than six inches in depth.*

One dumpster is proposed at the NW corner of the site—the rear yard. The dumpster will have a 6 ft tall enclosure, be located on a 12x42 concrete footing and will have opaque access gates. However, additional information on the material of the dumpster screening (e.g. masonry wall) must be provided.

10. PARKING & LOADING (§155.077; 155.078; 155.079)

The parking pattern proposed shall be in the best interest of the public health, safety, and welfare in regard to size, layout and quantity, and the location of parking and loading facilities will not be detrimental to nearby developments, properties, or public streets.

Findings: The parking requirement for standard restaurants or establishments for sale and useable consumption on the premises of beverages, food or refreshments requires one (1) parking space for every 100 square feet of gross building floor and outdoor seating area. Based on the existing size of the building at 3,960 square feet, and



at the ratio of 1:100, a minimum of 40 parking spaces are required. The submitted site plan indicates a total of 42 parking spaces.

However, in order to meet pedestrian circulation standards and landscaping terminal island standards, it is required that two parking spaces are removed, one parking space in the row directly north of the building and one parking space in the row directly east of the building. This means the site will have a total of 40 parking spaces, which is more than adequate for its suggested use.

11. EXTERIOR LIGHTING AND SECURITY CAMERAS (§155.076)

All exterior lighting fixtures shall be designed, arranged, and shielded to minimize glare and light pollution, prevent night blindness and vision impairments, and maximize security. For all non-residential commercial and business properties, security cameras shall be installed, maintained and approved by the City Police Chief.

Finding.

Exterior Lighting. The site plan details exterior lighting on the site, however no photometric plan has been provided for review by city staff. A photometric plan, which includes foot-candle levels, will need to be submitted to ensure light fixtures on the site are in compliance with the zoning ordinance.

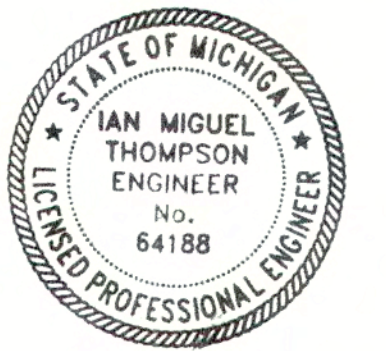
Security Cameras. The applicant needs to provide a Security Plan:

- Security cameras shall be installed, maintained and approved by the City Police Chief;
- All security cameras shall be high-definition with a minimum resolution of 1080p and night vision with at least 120 concurrent hours of digitally recorded documentation;
- The security cameras shall be in operation 24 hours a day, seven days a week, and shall be set to maintain the record of the prior 120 hours of continuous operation;
- An alarm system is required that is operated and monitored by a recognized security company; and
- Security cameras shall be placed to cover the entire site and placement shall be approved by the City Police Chief.

APPLICABLE CODES

2015 MICHIGAN PLUMBING CODE
ANSI 117.1-2003 ACCESSIBILITY 2015
MICHIGAN ENERGY CODE ASHREA
90.1-2007
2018 DETROIT FIRE PROTECTION CODE
2015 MICHIGAN REHAB CODE-LEVEL-1
2018 MICHIGAN MECHANICAL CODE
2017 NATIONAL ELECTRIC CODE

METHOD OF COMPLIANCE:
PRESCRIPTIVE COMPLIANCE



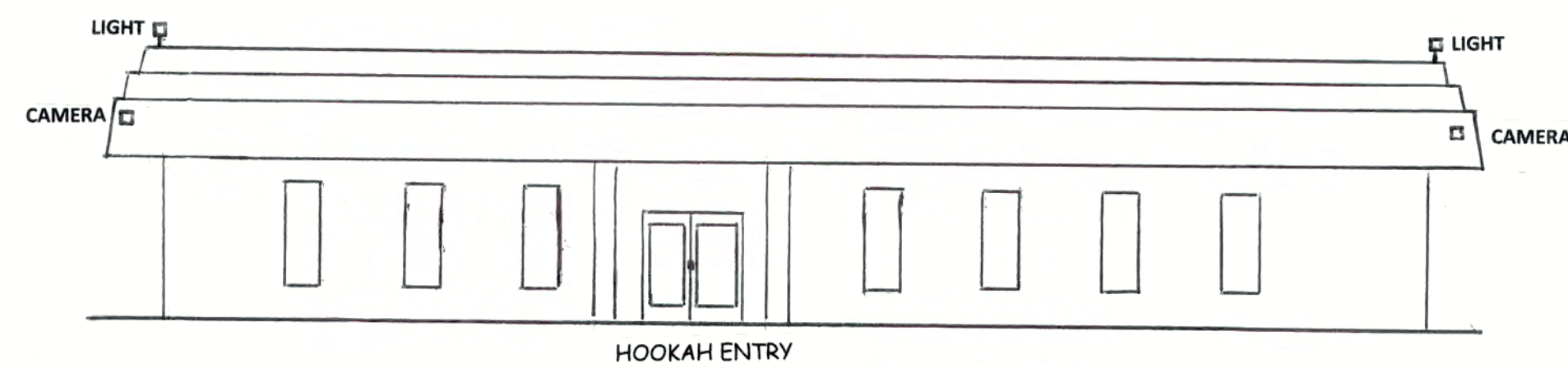
SCALE 1' = 10 FT

HOOKAH LOUNGE
364 INKSTER RD
INKSTER, MI 48141

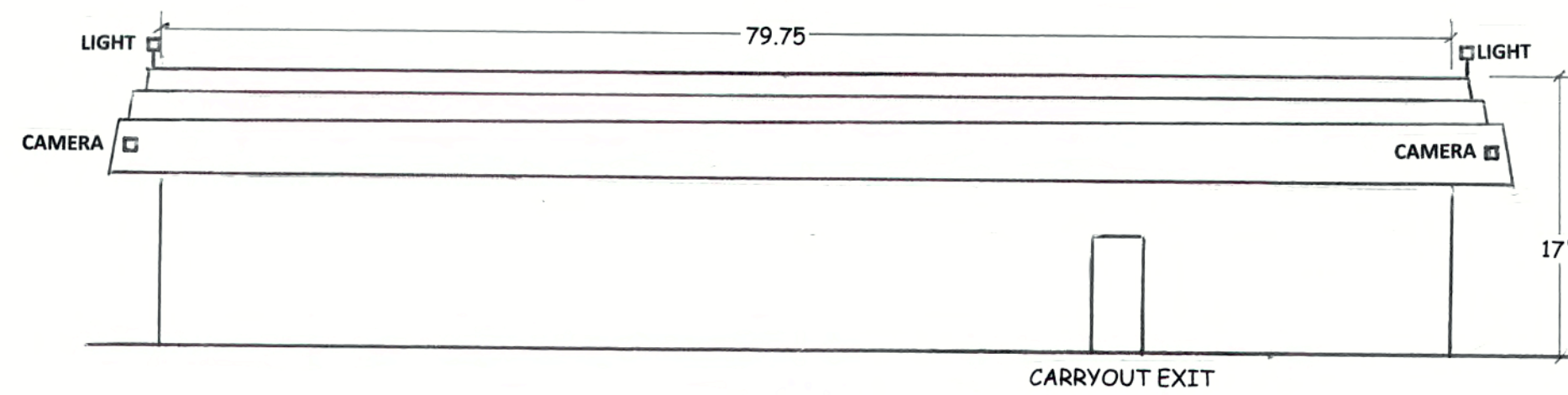
DATE	REV #	ISSUED FOR

SHEET NO.

A-101

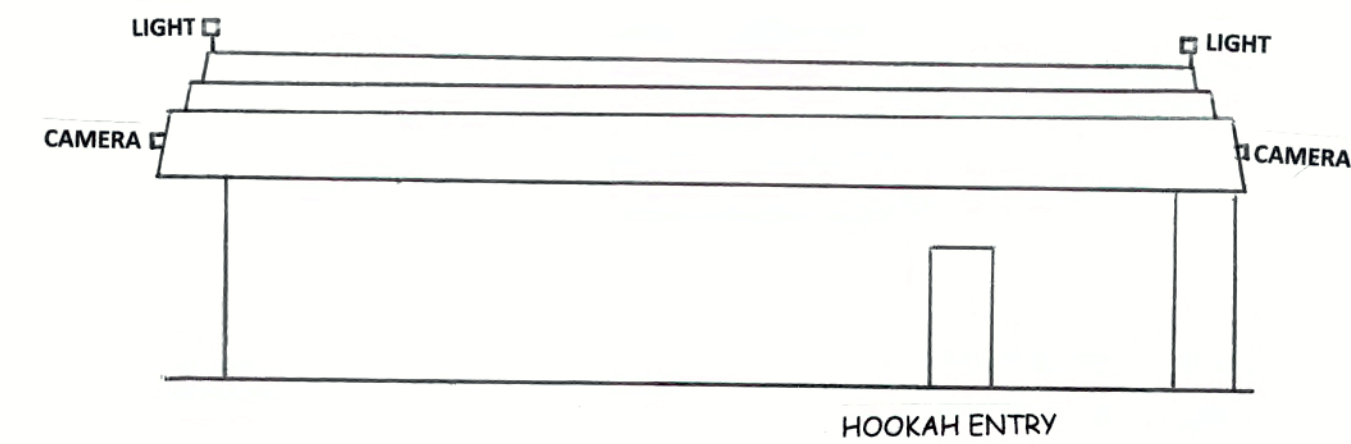


NORTH

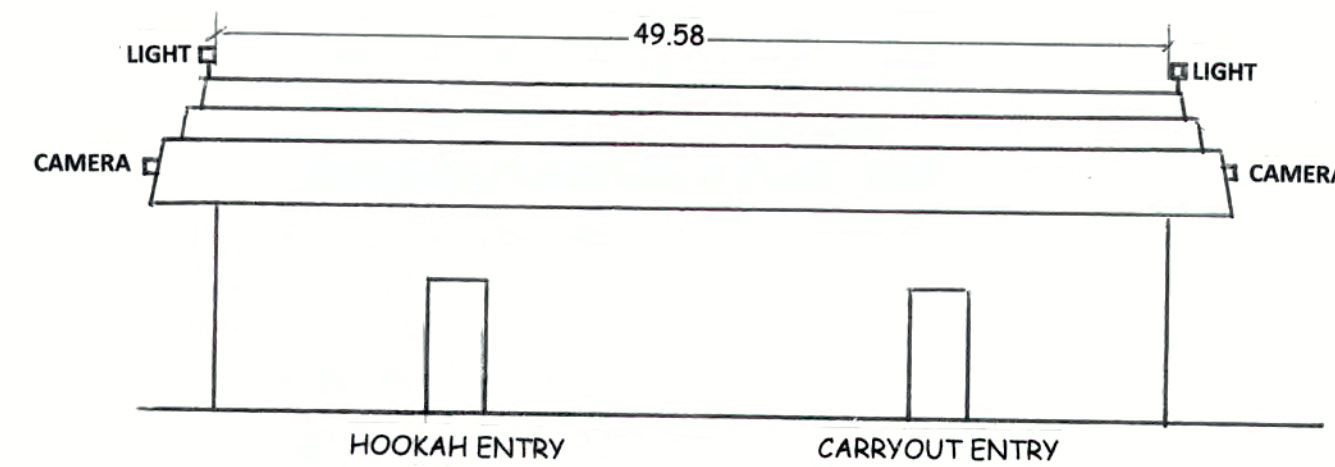


SOUTH

ELEVATIONS
SCALE 1' = 10 FT



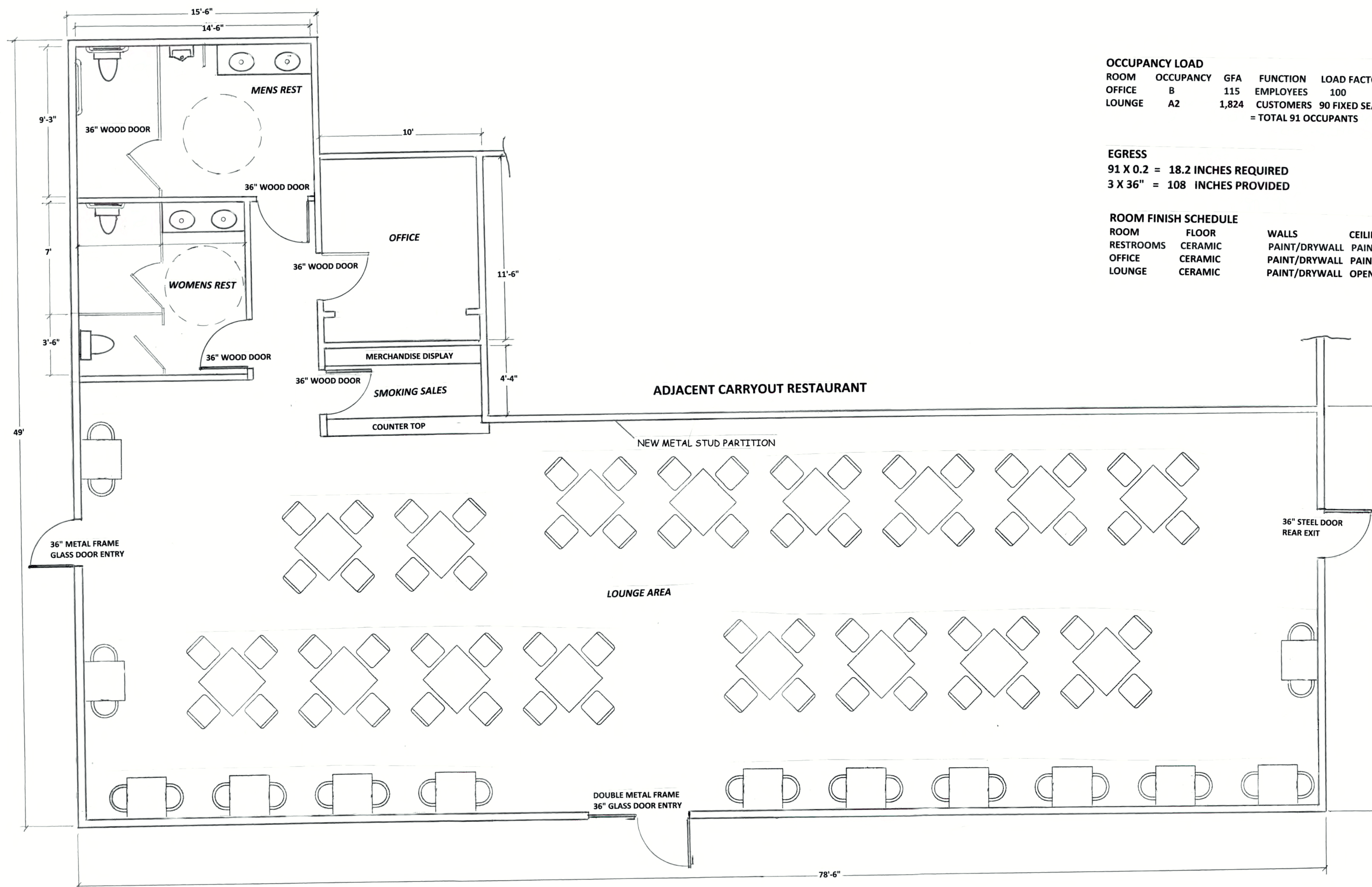
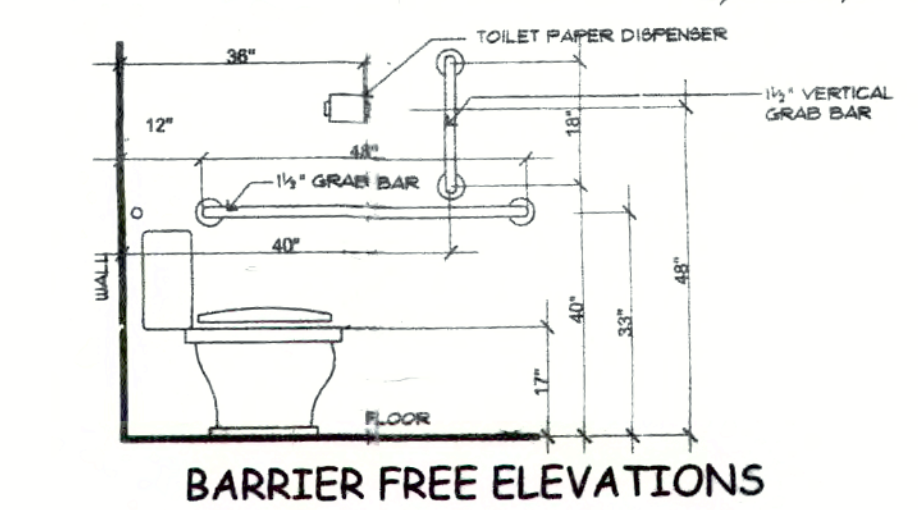
EAST



WEST

WORK SCOPE

- INSTALL NEW ENTRY DOOR ON EAST SIDE OF BUILDING
- REMOVE ONE OF DOUBLE DOOR SETS AT NORTH SIDE
- AND KEEP ONE DOUBLE ENTRY DOOR SET
- METAL FRAME WALL SEPARATING SMOKING LOUNGE FROM CARRYOUT RESTAURANT
- ADD COUNTERTOP AND SHELF AT "SMOKING SALES" AREA
- REMOVE EXISTING CEILING TILES AND PAINT CEILING AND ITS STRUCTURES
- SEPARATE ELECTRIC TWO HAVE 2 ELECTRIC METERS/BREAKER PANELS
- REPAINT INTERIOR WALLS

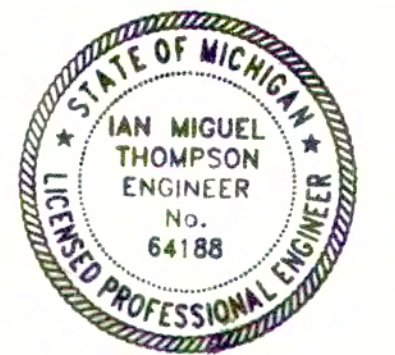


FLOOR PLAN
SCALE 1' = 4 FT

APPLICABLE CODES

2018 MICHIGAN PLUMBING CODE
ANSI 117.1-2003 ACCESSIBILITY 2015
MICHIGAN ENERGY CODE ASHREA
90.1-2007
2018 DETROIT FIRE PROTECTION CODE
2015 MICHIGAN REHAB CODE-LEVEL-1
2018 MICHIGAN MECHANICAL CODE
2017 NATIONAL ELECTRIC CODE

METHOD OF COMPLIANCE:
PRESCRIPTIVE COMPLIANCE



SCALE 1" = 4 FT

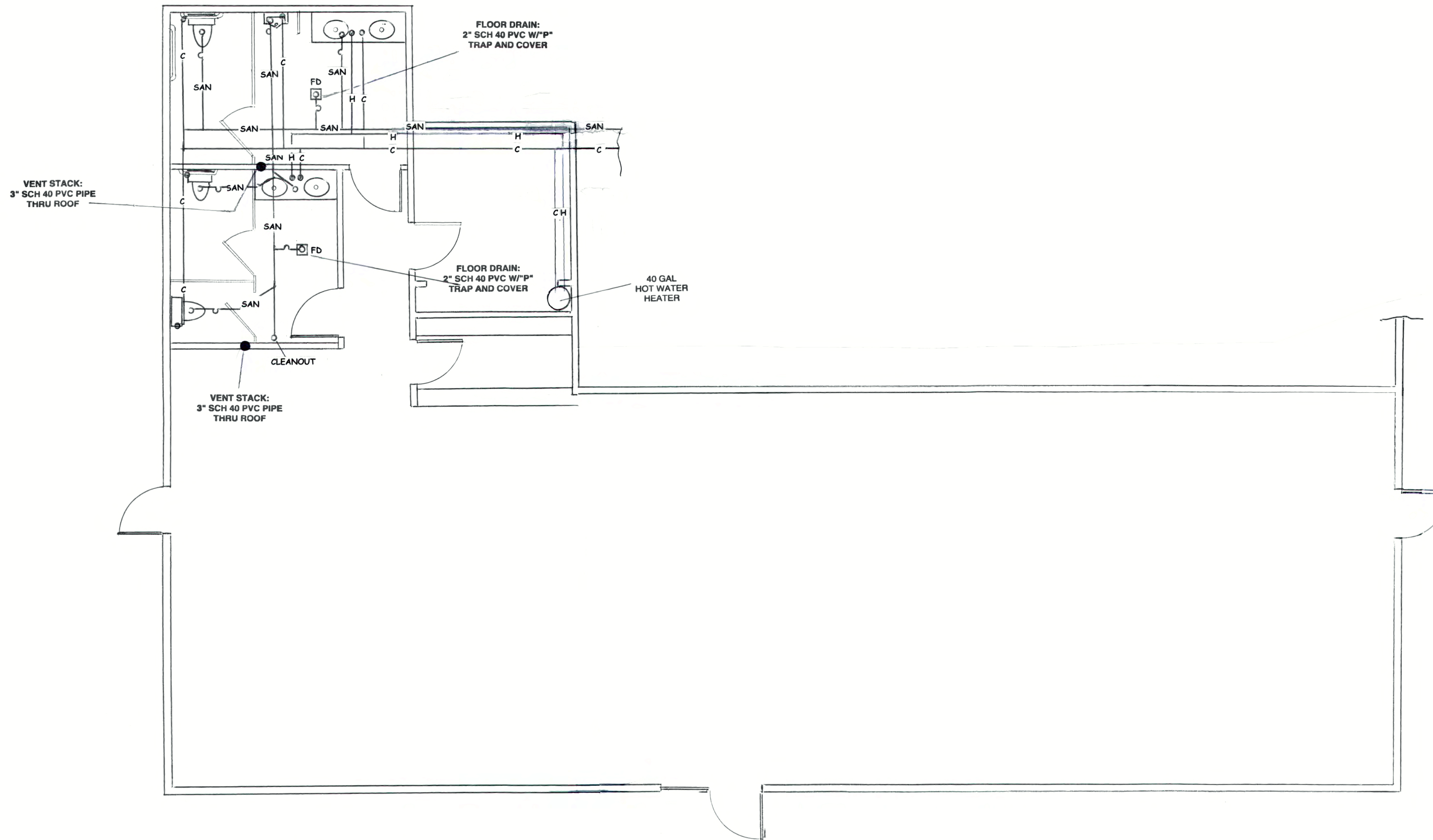
HOOKAH LOUNGE
364 INKSTER RD
INKSTER, MI 48141

REVISIONS

[illegible]

SHEET NO.

A-100

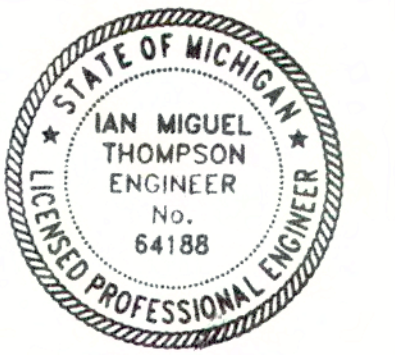


EX PLUMBING PLAN
SCALE 1" = 4 FT

APPLICABLE CODES

2018 MICHIGAN PLUMBING CODE
ANSI 117.1-2003 ACCESSIBILITY 2015
MICHIGAN ENERGY CODE ASHREA
90.1-2007
2018 DETROIT FIRE PROTECTION CODE
2015 MICHIGAN REHAB CODE-LEVEL-1
2018 MICHIGAN MECHANICAL CODE
2017 NATIONAL ELECTRIC CODE

METHOD OF COMPLIANCE:
PRESCRIPTIVE COMPLIANCE



SCALE 1" = 4 FT

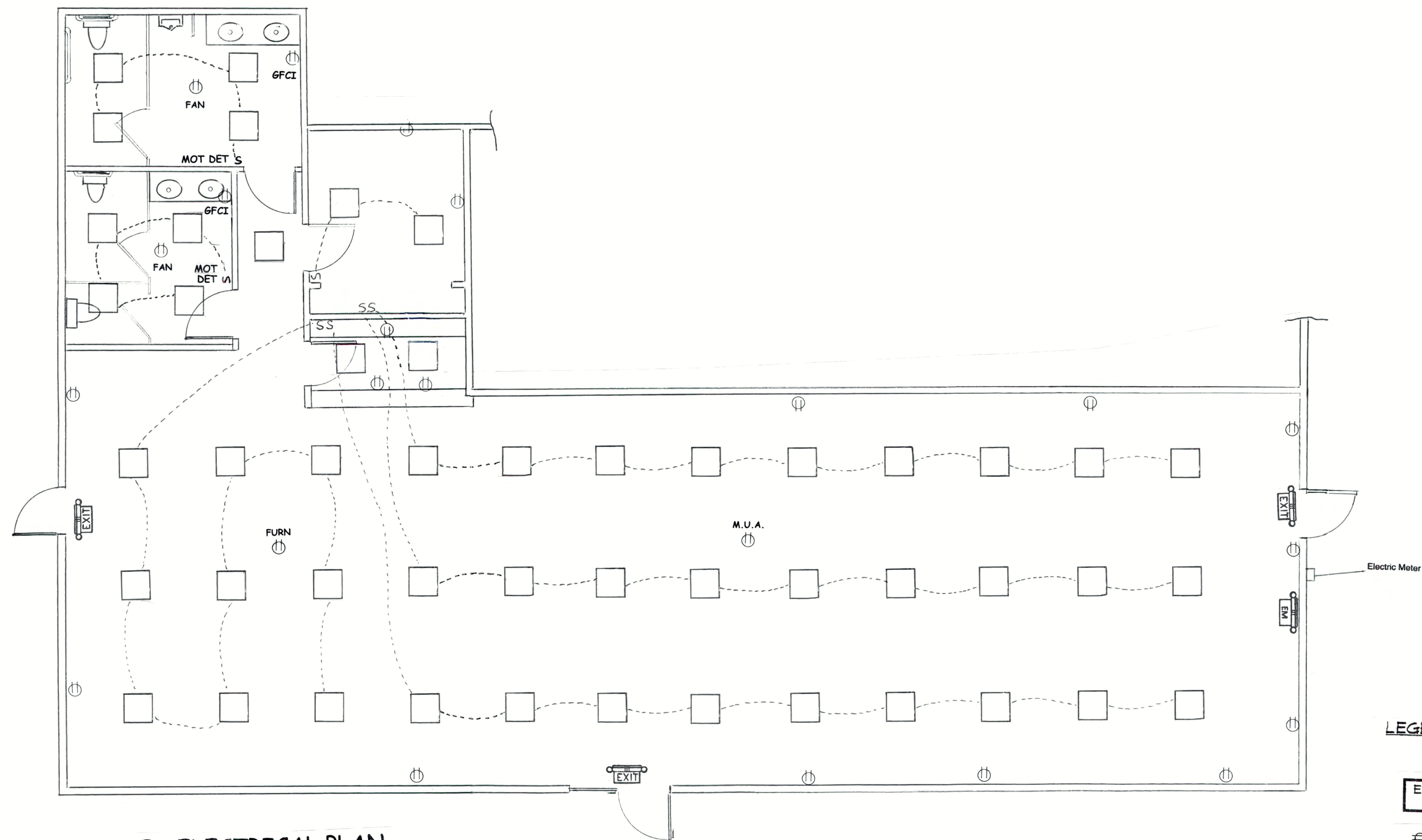
HOOKAH LOUNGE
364 INKSTER RD
INKSTER, MI 48141

REVISIONS

DATE	REV #	ISSUED FOR

SHEET NO.

P-100



EX ELECTRICAL PLAN
SCALE 1' = 4 FT

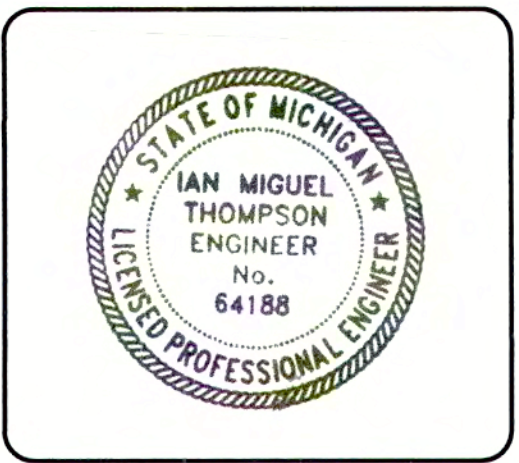
LEGEND OF ELECTRICAL SYMBOLS

- E. 2'x2' FLUORESCENT LIGHT
- DUPLEX RECEPTACLE
- GFI GROUND FAULT INTERRUPT

APPLICABLE CODES

2018 MICHIGAN PLUMBING CODE
ANSI 117.1-2003 ACCESSIBILITY 2015
MICHIGAN ENERGY CODE ASHREA
90.1-2007
2018 DETROIT FIRE PROTECTION CODE
2015 MICHIGAN REHAB CODE-LEVEL-1
2018 MICHIGAN MECHANICAL CODE
2017 NATIONAL ELECTRIC CODE

METHOD OF COMPLIANCE:
PRESCRIPTIVE COMPLIANCE



SCALE 1' = 4 FT

HOOKAH LOUNGE
364 INKSTER RD
INKSTER, MI 48141

REVISIONS

DATE	REV #	ISSUED FOR

SHEET NO.
E-100

2018 MICHIGAN PLUMBING CODE
ANSI 117.1-2003 ACCESSIBILITY 2015
MICHIGAN ENERGY CODE ASHREA
90.1-2007
2018 DETROIT FIRE PROTECTION CODE
2015 MICHIGAN REHAB CODE-LEVEL-1
2018 MICHIGAN MECHANICAL CODE
2017 NATIONAL ELECTRIC CODE

A circular professional engineer seal for the State of Michigan. The outer ring contains the text "STATE OF MICHIGAN" at the top and "LICENSED PROFESSIONAL ENGINEER" at the bottom, separated by two stars. The inner circle contains the name "IAN MIGUEL THOMPSON", the title "ENGINEER", and the license number "No. 64188".

HOOKAH LOUNGE
364 INKSTER RD
INKSTER, MI 48141

[illegible]

M-100

Performance Data

Table 1. Direct-Fired Indoor Air (DFIA) unit—General data

Unit Size	109	112	115	118	120	122	125	130	215	218	220
Airflow											
Max. Airflow (cfm)	1600	3250	4540	6500	9000	11000	14500	20000	9000	12500	18000
Max. Airflow (cfm)	3000	4250	6000	8500	11000	15500	22000	30000	12000	17000	24000
Fan											
Quantity - Wheel Size	1 - 9	1 - 12	1 - 15	1 - 18	1 - 20	1 - 22	1 - 25	1 - 30	2 - 15	2 - 18	2 - 20
Motor (hp)	1-5	1.5-5	2-7.5	3-10	5-10	5-15	7.5-20	10-30	5-15	7.5-20	7.5-25
Filters, 2-in											
Quantity	4	4	9	9	10	10	24	24	18	18	35
Size (in)	20x20	20x20	20x16	20x16	20x25	20x25	20x16	20x16	20x15	20x15	20x16

Table 4. Dimensions for horizontal arrangement—Single blower DFIA

Model	A	B	C	D	E	F	G	H	I	J	K	L	M	N
109	29	45	33	12	10-1/2	16-1/2	30	8-1/4	28	23-3/4	34	25-1/8		
112	29	45	33	15-3/4	13-3/8	14-5/8	30	8-1/4	28	23-3/4	34	25-1/8		
115	37-1/4	51	43	18-3/4	16	16-1/8	30	10-1/4	43	39-3/4	40	40-1/4		
118	37-1/4	51	43	22	19	14-1/2	30	10-1/4	43	39-3/4	40	40-1/4		
120	54	60	52	24-7/8	24-7/8	17-9/16	48	14-1/4	52	48-3/4	49	49-1/8		
122	54	60	52	27-3/8	27-3/8	16-5/16	48	14-1/4	52	49-3/4	49	49-1/8		
125	66	72	60	31-3/8	31-3/8	20-5/16	60	20-1/4	52	49-3/4	61	49-1/8		
130	66	72	60	36-7/8	36-7/8	17-9/16	60	20-1/4	52	49-3/4	61	49-1/8		

Note: All dimensions in inches subject to manufacturing tolerances.

Dimensions

Figure 6. Horizontal arrangement single blower

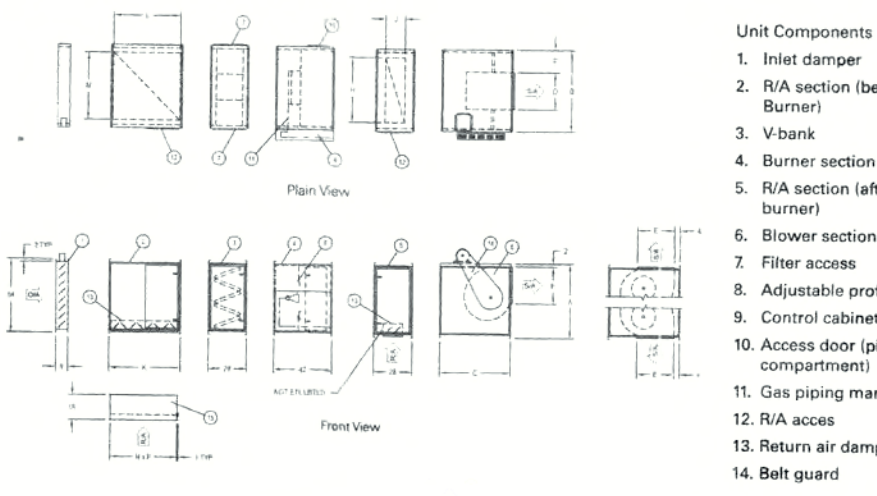


Table 2. Direct-Fired Indoor Air (DFIA) unit—Performance data

Models	Flow rate (m³/s)	SFR (m³/s)	FPM (m³/s)	Total External Static Pressure (N/m²)					
				1/4	3/8	1/2	3/4	1	1-1/4
109	0-9	1600	1274	1	1	1	1	1	1
		2000	2013	1	1	1-1/2	1-1/2	1-1/2	1-1/2
		2400	2832	1-1/2	1-1/2	2	2	2	2
		2600	3110	2	2	2	2	3	3
		3000	3589	3	3	3	3	3	3
	1-12	3100	3721	1-1/2	2	2	2	2	2
		3500	2431	2	2	2	2	3	3
		3700	2606	2	2	2	2	3	3
		4000	2778	3	3	3	3	3	3
		4250	2951	3	3	3	3	3	3
110	0-15	1600	2239	2	2	2	2	2	2
		2000	3488	3	3	3	3	3	3
		2400	4736	3	3	3	3	3	3
		2600	5276	3	3	3	3	3	3
		3000	6565	5	5	5	5	5	5
	15-10	7000	2439	5	5	5	5	5	5
		7200	2611	5	5	5	5	5	5
		8000	2787	5	5	5	5	7-1/2	7-1/2
		9000	2962	5	5	7-1/2	7-1/2	7-1/2	7-1/2
		10000	3143	5	5	7-1/2	7-1/2	7-1/2	7-1/2
120	10-20	10000	2881	5	5	7-1/2	7-1/2	7-1/2	7-1/2
		12000	3500	7-1/2	7-1/2	7-1/2	7-1/2	7-1/2	7-1/2
		14000	4119	7-1/2	7-1/2	7-1/2	7-1/2	7-1/2	7-1/2
		16000	4738	7-1/2	7-1/2	7-1/2	7-1/2	7-1/2	7-1/2
		18000	5357	7-1/2	7-1/2	7-1/2	7-1/2	7-1/2	7-1/2

Daikin 6 Ton 140,000 BTU Light Commercial 15.5 IEER Gas/Electric Packaged Unit - Two Speed Belt Driven 460V

Weight (in lbs)	715.000000
Manufacturer	Daikin
Cooling BTU	69,000 BTU
Heating BTU	138,000 BTU
Drive Type	Belt
Maximum CFM	2350
Decibel Level (dBA)	78 decibels
Refrigerant	R410A
Refrigerant Charge	Pre-charged
EER	11.2
SEER	15.5
Condenser stages	Two Stage
Compressor type	Scroll
Electrical Phase	460 V, 3 Phase
	Three Phase

ROOM NAME	RESTROOM(2)	OFFICE	LOUNGE AREA
AREA SQ FT	289	115	1,824
PEOPLE OUTDOOR			
AIR RATE, RP		5	60
OUTDOOR AIR RATE, RA		0.06	0
RP X #PEOPLE + RA X SF (CFM)		10	
CORRECTED (CFM)		13	7,660
DENSITY		5	70
CFM/FIX # FIX	300 2		
SYSTEM TOTAL CFM-----	F-1 = 7,990 CFM		

TAG	CFM	STATIC PRESS	FAN DATA		MOTOR DATA		
			TYPE	RPM	VOLT	PH	WATTS
EF-1,2	300	0.5	CENTRI	1,100	115	60	80

TAG	TOTAL OUTPUT BTU/HR	CFM	E.S.P. IN	WEIGHT (LB)	FAN DATA			MANUFACT
					H.P.	V/PH	DRIVE	
F-1	138,000	2,350	0.4	715	1	1/120	DIRECT	DAIKEN



APPLIANCES:

F-1	138,000 BTU/1,100	=	125 CF
HWH	35,000 BTU/1,100	=	32 CF
M.U.A.	475,000 BTU/1,100	=	432 CF

FITTINGS:

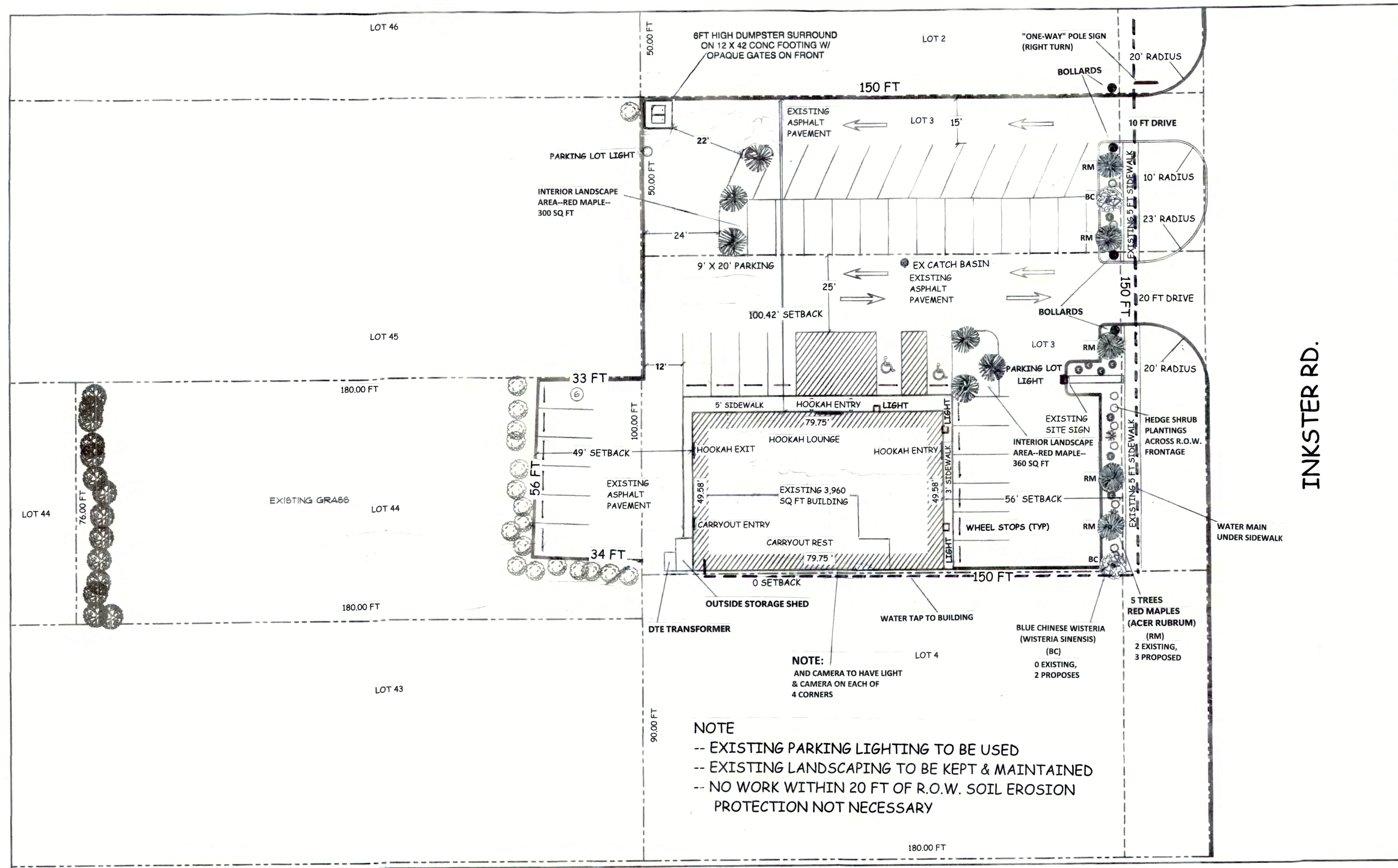
(L/D)eq	FITTING	NUMBER	DIA
20	90°	2	1
20	"T"	2	1

TOTAL 120" = 10 FT + 82' = 92'---USE 100 FT

NOTES:

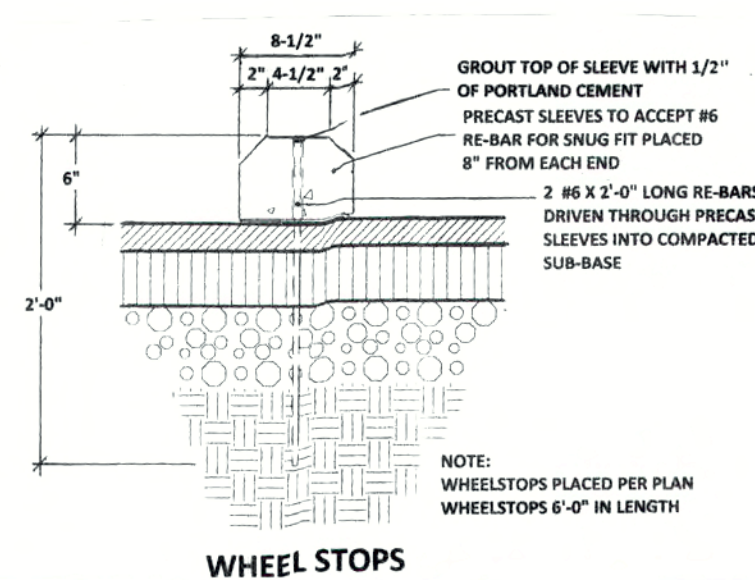
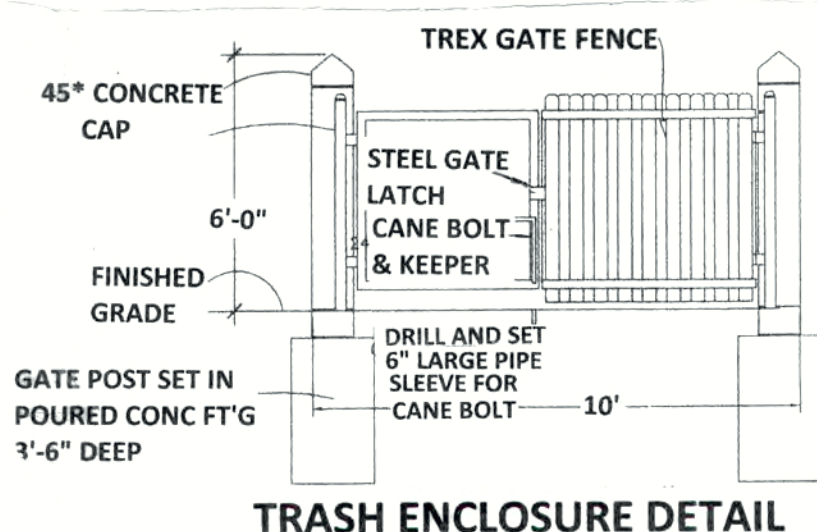
- ROOFTOP LESS THAN 16 FT HIGH,
NO PERMANENT LADDER REQUIRED
- ROOFTOP EQUIPMENT MORE THAN
10 FT FRO ROOF EDGE, NO GUARD
RAILING REQUIRED

SCALE 1" = 4 FT



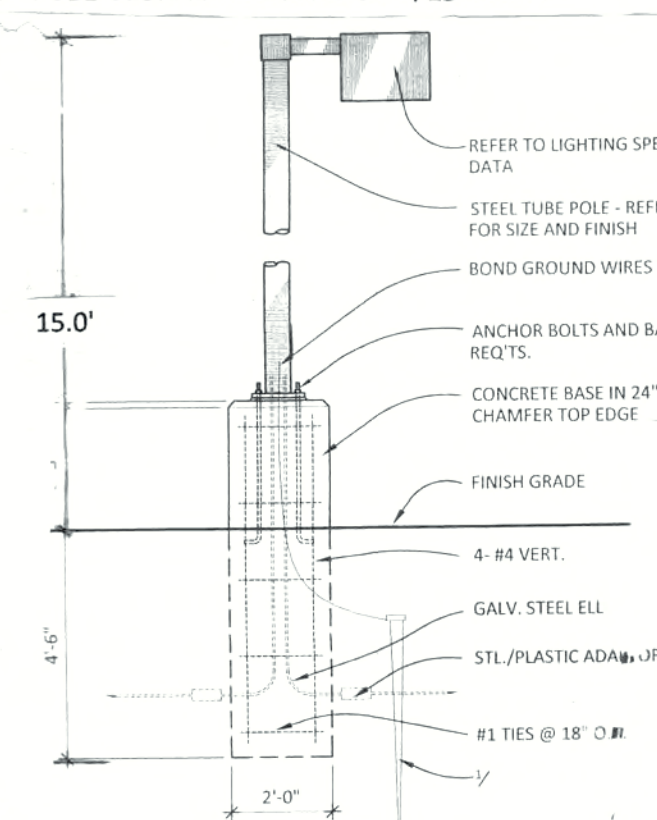
SITE PLAN

SCALE 1" = 20 FT



PARKING LOT LIGHT LIGHTING & HEIGHT

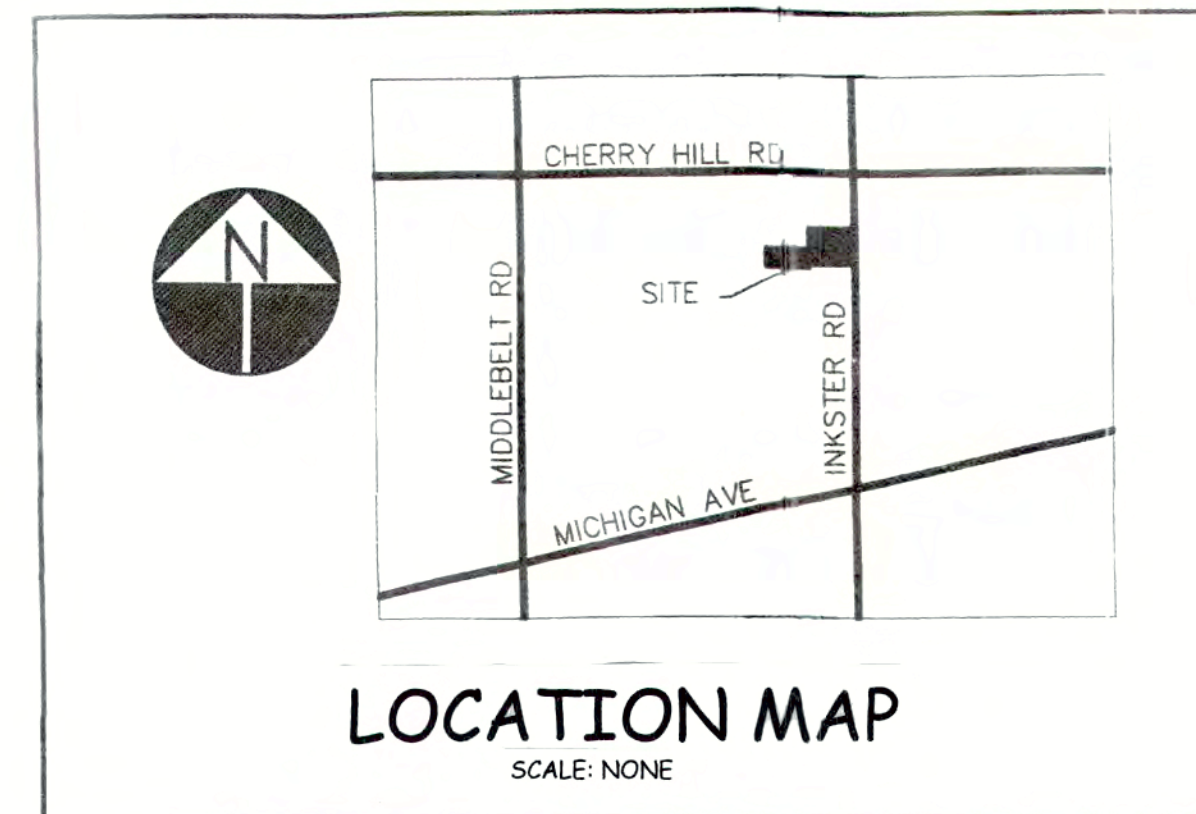
- 1-- ON SITE SIGN, 15' HIGH
- 3-- ON BUILDING, 14' HIGH
- 1-- POLE SIGN IN PARKING LOT, 15' HIGH



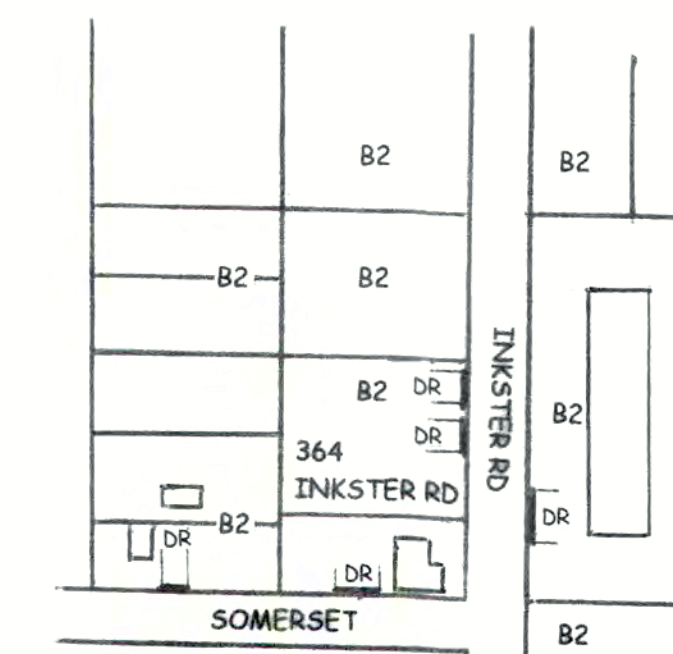
NOTE:
PARKING LOT LIGHT POLES WILL HAVE
A 24" DIA X 7' (2.5' ABOVE GROUND
& 4.5' BELOW GROUND CONCRETE
FOUNDATION. TOTAL LIGHT HT 15 FT

EXTERIOR LIGHTING NOTES
- EXISTING AND PROPOSED LIGHTING SHOULD BE SHIELDED FROM
ADJACENT PROPERTIES AND R.O.W.
- MAIN HEIGHT OF LIGHT IS 15 FT
- 5 FOOT CANDLE FOR PEDESTRIAN MEASURED 5 FT ABOVE GROUND
- 1 TO 3 FOOT CANDLES FOR VEHICULAR
- 2 TO 10 FOOT CANDLES FOR PARKING AND LOADING
LIGHTING NOTES
- PARKING LOT LIGHTING POLE LENS
TO BE LIMITED TO 250 WATTS
- ALL LIGHTS TO BE SHIELDED FROM
ADJACENT PROPERTY AND R.O.W.

LEGEND				
EXISTING LANDSCAPE				
SHRUBS				
SMALL TREE				
SMALL TREE (EVER GREEN)				
LARGE TREE (EVER GREEN)				
NEW PLANT MATERIALS				
Qty	Key	Common/Botanical Name	Min Size	Spec.
4	M6	DECIDUOUS TREES SERGEANT APPLE	1' Ht.	B4B
15	Awb	MEDIUM SHRUBS ANTHONY WATERER SPIREA Spirea x bumalda 'Awb'	24" Ht. CG 5 Gal.	



SURROUNDING ZONING



PROJECT DESCRIPTION

THE INTENTIONS ARE TO USE THE EXISTING BUILDING AND DIVIDE INTO 2 BUSINESSES, A HOOKAH LOUNGE AND A CARRYOUT RESTAURANT. THERE WILL BE VERY LITTLE INTERIOR WALL ALTERATIONS WITH NO CHANGE TO THE EXTERIOR WALLS. THE 2 BUSINESSES WILL NOT HAVE ACCESS TO ONE ANOTHER. ANY DISREPAIR ON THE EXTERIOR WILL BE BROUGHT UP TO THE PROPER STANDARDS. WE WILL ADD A DUMPSTER SURROUND, KEEP EXISTING ASPHALT AND LANDSCAPING.

APPLICABLE CODES

2018 MICHIGAN PLUMBING CODE
ANSI 117.1-2003 ACCESSIBILITY
2015 MICHIGAN ENERGY CODE
ASHREA 90.1-2007
2012 INTERNATIONAL FIRE CODE
2015 MICHIGAN BUILDING CODE
2018 MICHIGAN MECHANICAL CODE
2018 NATIONAL ELECTRIC CODE

HOOKAH LOUNGE

*** SITE SIZE 22,400 SQ FT (0.514 ACRES)
*** TOTAL BUILDING SIZE 3,954 SQ FT
*** SUBJECT BUSINESS SIZE 2,590 SQ FT
*** CURRENT ZONING B-2
*** CURRENT USE VACANT
*** PROPOSED USE HOOKAH LOUNGE
*** USE GROUP A-2
*** CONSTRUCTION TYPE IIIB
*** PARCEL ID 44003030002302

LAND IN THE CITY OF INKSTER, WAYNE COUNTY MICHIGAN
DESCRIBED AS FOLLOWS:
THE EAST 180.00 FT OF LOT 44 AND LOT 3 EXCEPT THAT EAST
TAKEN FOR ROAD, DEARBORN TRACTOR ACRES, AND THE
SOUTH 50 FEET OF WEST 153 FEET OF LOT 2 AND EAST 180 FT
OF SOUTH 12 FEET OF LOT 45 DEARBORN TRACTOR ACRES
ACCORDING TO THE RECORDS THEREOF RECORDED IN
LIBER 19 WAYNE COUNTY RECORDS

APPLICABLE CODES

2018 MICHIGAN PLUMBING CODE
ANSI 117.1-2003 ACCESSIBILITY 2015
MICHIGAN ENERGY CODE ASHREA
90.1-2007
2018 DETROIT FIRE PROTECTION CODE
2015 MICHIGAN REHAB CODE-LEVEL-1
2018 MICHIGAN MECHANICAL CODE
2017 NATIONAL ELECTRIC CODE

METHOD OF COMPLIANCE:
PRESCRIPTIVE COMPLIANCE



IAN THOMPSON, ENGINEER
26520 GRAND RIVER AVE
REDFORD, MI 48240
586-339-2862
EM-larrysellit@yahoo.com
APPLICANT
SAFA ALTWAIJ
4740 CURTIS
DEARBORN, MI 48126



SCALE 1" = 20 FT

HOOKAH LOUNGE
364 INKSTER RD
INKSTER, MI 48141

REVISIONS

DATE	REV #	ISSUED FOR

SHEET NO.

SP-001