



CITY OF INKSTER PLANNING COMMISSION MEETING AGENDA

MONDAY, JANUARY 29, 2024
6:30 P.M.
CITY COUNCIL CHAMBERS
OPEN TO THE PUBLIC

- I. ROLL CALL
- II. ADOPTION OF AGENDA
- III. ADOPTION OF MINUTES
 - A. **Adoption of December 19, 2023 Meeting Minutes**
- IV. FIRST HEARING OF THE PUBLIC *(for items not scheduled for a public hearing but on the agenda)*
- V. PUBLIC HEARING(S)
 - A. **Case # 20-38 (SLU) Special Land Use to Allow a Marijuana Retailer at 315 Inkster Road in the B-2 Thoroughfare Mixed Use District**
Conduct a Public Hearing for the consideration of recommendation to City Council regarding the marijuana retailer at 315 Inkster Road.
- VI. UNFINISHED BUSINESS
- VII. NEW BUSINESS
 - A. **Case # 20-37 (SP) Site Plan for Marijuana Retailer at Reconstructed Retail Plaza at 315 Inkster Road**
 - B. **Case # 20-38 (SLU) Special Land Use to Allow a Marijuana Retailer at 315 Inkster Road in the B-2 Thoroughfare Mixed Use District**
 - C. **Case # 24-01 (SP) Site enhancements for Department of Public Services Yard at 26900 Princeton Avenue**
- VIII. MISCELLANEOUS
 - A. **Annual Planning Report and Annual Work Plan**
 - B. **Training Opportunities**
[Planning and Zoning Essentials Workshop](#)
Date: March 5, 2024 – 11:30 AM – 4:30 PM
Location: Kirtland Community College 4800 W 4 Mile Rd Grayling, Michigan

[Zoning Administration Part One](#)
Date: March 6 – 2:00 pm to 4:00 pm
Location: Zoom

[Zoning Administration Part Two](#)
Date: March 7 – 2:00 pm to 4:00 pm
Location: Zoom

[Nonconformities Workshop](#)
Date: March 14 – 6:00 pm to 8:00 pm
Location: Zoom

[Zoning Ordinance: A to Z](#)

Date: March 19, 2024 – 12:30 PM – 4:00 PM

Location: Kalamazoo Valley Community College - Main Texas Township Campus 6767 West "O" Avenue
Kalamazoo, Michigan 49009

[Planning and Zoning Essentials Workshop](#)

Date: March 21, 2024 – 11:30 AM – 4:30 PM

Location: Bavarian Inn Lodge 1 Covered Bridge Lane Frankenmuth, MI 48734

[Planning and Zoning Essentials Workshop Part One](#)

Date: March 26, 2024 – 6:00 PM – 8:00 PM

Location: Zoom

[Planning and Zoning Essentials Workshop Part Two](#)

Date: March 27, 2024 – 6:00 PM – 8:00 PM

Location: Zoom

- IX. SECOND HEARING OF THE PUBLIC (*for items not scheduled for a public hearing or on the agenda*)
- X. ADJOURNMENT

CITY OF INKSTER PLANNING COMMISSION MEETING MINUTES

TUESDAY, DECEMBER 19, 2023
6:30 P.M.
CITY COUNCIL CHAMBERS
OPEN TO THE PUBLIC

A special meeting was held on Tuesday, December 19, 2023, in the Inkster City Council Chambers, located at 26215 Trowbridge, Inkster, Michigan 48141. The meeting was called to order at 6:32 PM by Chairman Chisholm.

I. ROLL CALL

Present: Chairman Steve Chisholm, Mayor Byron Nolen, Commissioner Norma McDonald, Commissioner Ashley Williams, Commissioner Sheryl Hayes-Bradford, Commissioner Daryl Davis, Commissioner Tonia Williams

Absent: Commissioner Mack Willis, Commissioner Tavan Hall

Quorum Present: Yes

Others in attendance: Jane Dixon and Derrick Dowdell (Planning Dept) and Members of the Public

II. ADOPTION OF AGENDA

MOVED by Davis, seconded by T. Williams to Adopt the Agenda as presented.

Vote: 7-0, Motion carried.

III. ADOPTION OF MINUTES

A. Adoption of September 25, 2023, meeting minutes

MOVED by Davis, seconded by T. Williams to Adopt the Agenda as presented.

Vote: 7-0, Motion carried.

IV. FIRST HEARING OF THE PUBLIC (for items not scheduled for a public hearing but on the agenda)

V. PUBLIC HEARING(S)

MOTION MADE TO OPEN PUBLIC HEARING(S): Case 23-13 TA – Text Amendment to Allow Auto Sales in the Town Center District

MOVED by Davis, seconded by Hayes-Bradford

Vote: 7-0, Motion Carried

Wally Alghareeb, representative of the applicant – Presented the applicant's case and justification for the request.

Adam Mitar, Property owner at 26633 Michigan Avenue – Spoke in support of the amendment.

Sandra Watley, resident – Spoke to not amend the ordinance.

Kimberly Faison, resident – Spoke to not amend the ordinance.

MOTION MADE TO CLOSE PUBLIC HEARING: MOVED by McDaniel, seconded by Davis

Vote: 7-0, Motion carried

MOTION MADE TO OPEN PUBLIC HEARING(S): Case 23-14 SLU – Special Land Use Smoking Lounge at 3810 Inkster Road.

MOVED by Hayes-Bradford seconded by T. Williams

Vote: 7-0, Motion carried

Yvette Hardy, applicant – Presented the case and justification for the request for Special Land Use and answered questions.

Michelle Sample, representative from Saint Marks Missionary Baptist Church – spoke against the Special Land Use for a smoking lounge.

Kent, resident – spoke in support of the Special Land Use for a smoking lounge.

Kimberly Faison, resident – spoke in support of the Special Land Use for a smoking lounge.

Sandra Watley, resident – spoke against the Special Land Use for a smoking lounge.

Adam Mitar, property owner – spoke in support of the Special Land use for smoking lounge.

MOTION MADE TO CLOSE PUBLIC HEARING: MOVED by Hayes-Bradford, seconded by T. Williams

Vote: 7-0, Motion carried

VI. UNFINISHED BUSINESS

VII. NEW BUSINESS.

Case # 23-13 (TA) Text Amendment to Allow Auto Sales in the Town Center District

MOVED by Hayes-Bradford to recommend denial of the text amendment to allow auto sales in the Town Center District based on it not being supported by the Master Plan and is strictly prohibited by the current Zoning Ordinance, seconded by McDaniel.

Vote: 7-0, Motion carried

Case # 23-14 (SLU) Smoking Lounge at 3810 Inkster Road in the B-2, Thoroughfare Mixed-Use District

MOVED by Davis to recommend approval of a special land use for a Smoking Lounge at 3810 Inkster Road with the conditions listed in the review, seconded by T. Williams.

Vote: 7-0, Motion carried

Case # 23-15 (SP) Conversion of Existing Residential Home to Commercial Smoking Lounge at 3810 Inkster Road

City Planner presented the review of the Site Plan.

MOVED by Davis to approve the proposed site plan for a special land use at 3810 Inkster Road, provided that special land use approvals are granted by City Council and contingent on the recommendations as stated by the City Planner and requirement of a shared access agreement with neighboring parking lots, seconded by T. Williams.

Vote: 7-0, Motion carried

VIII. MISCELLANEOUS

A. 2024 Meeting Dates Set as follows:

January 22, 2024
February 26, 2024
March 25, 2024
April 22, 2024
May 28, 2024
June 24, 2024
July 22, 2024
August 26, 2024
September 23, 2024
October 28, 2024
November 25, 2024
December 9, 2024

MOVED by Hayes-Bradford, seconded by T. Williams

Vote: 7-0, Motion carried

B. New member welcome

Mayor Nolen, Commissioner McDaniel, and Commissioner A.C. Williams were formally welcomed to the body.

C. Training opportunities

City Planner presented upcoming training opportunities for Planning Commissioners in the month of January.

IX. SECOND HEARING OF THE PUBLIC *for items not on the agenda and not scheduled for a public hearing)*
None

Kimberly Faison, resident – spoke about the Redevelopment Ready Communities committee progress to become Redevelopment Ready Certification.

Sandra Watley, resident – spoke about concerns regarding existing and new marijuana facilities and the damages created by odor and second hand smoke from said facilities.

X. ADJOURNMENT Adjournment made by Chairman Chisholm at 8:27 PM

MOVED by McDaniel, seconded by T. Williams.

Vote: 7-0, Motion carried.

Secretary

Date Adopted: _____

Secretary

DRAFT

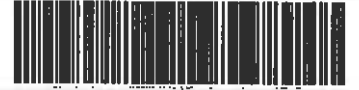
City Of Inkster
26215 TROWBRIDGE AVE.
Inkster, MI 48141
3135637716
3135636521

Invoice For PlanRevi PSP2020-017

Print Date: 12/03/2020


ABE HACHEM
26051 MICHIGAN AVE
Inkster MI 48141

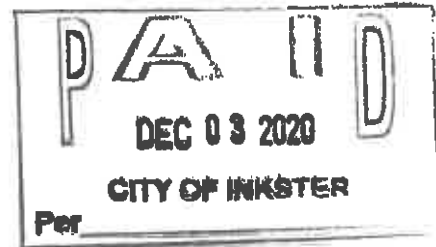
Pay by Account In Full



Pay by Account In Full

\$ 1,750.00

	Invoice No	Invoice Date	PlanReview Numbe	Address	Amount Due
	00042186	12/03/20	PSP2020-017	315 INKSTER	\$ 1,750.00
Fee Details:	Quantity	Description		Amount Cost	Balance
	1.000	Commercial- Less than 1 Acre		\$1750.00	\$ 1,750.00
Total Amount Due					\$ 1,750.00



City Of Inkster

26215 TROWBRIDGE AVE.

Inkster, MI 48141

3135637716

3135636521

Invoice For PlanRevi PSLU2020-013

Print Date: 12/03/2020

Pay by Account In Full



Pay by Account In Full

\$ 10,000.00

SJINK

315 INKSTER

Inkster MI 48141

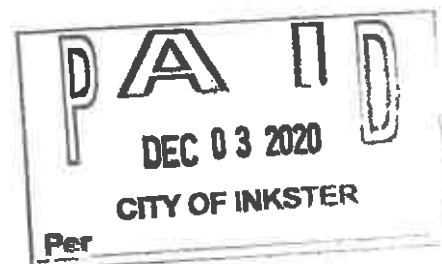
Invoice No	Invoice Date	PlanReview Numbe	Address	Amount Due
00042185	12/03/20	PSLU2020-013	315 INKSTER	\$ 10,000.00



Fee Details:	Quantity	Description	Amount Cost	Balance
	2.000	Marijuana SLU	\$10000.00	\$ 10,000.00

Total Amount Due

\$ 10,000.00





PLANNING & COMMUNITY DEVELOPMENT
PETITION FOR SITE PLAN REVIEW AND/OR SPECIAL LAND USE
(313)-563-9760

Case #s (City will assign) 20-37 20-38 20-39 Date Filed 12-3-20

TO THE INKSTER CITY PLANNING COMMISSION:

The undersigned respectfully petition(s) Planning Commission and/or Planning Staff for Site Plan Review in conjunction with or without Special Land Use Review as hereinafter requested, and in support of this petition, the following facts are shown:

PROPERTY IDENTIFICATION

Street Address: 297-333 Inkster

The property is located on the East side of Inkster Street, Between Michigan ave Street and Cherry Hill Street.

It has frontage of feet, a depth of feet, and comprises of acres.

Legal Description: The North 201 Feet of Lot(s) 700, as measured on the East and West line of said lot of Cherry Hill Manor NO. 4 according to the plat thereof recorded in libar 73 of plats. Pages 29 and 30 of Wayne County Records

ZONING - This property is currently zoned

Property Owner: HOA Real Estate LLC

Address: 26051 Michigan Ave Inkster Michigan 48141

Phone: 313 304 909 Fax

Yes, I do authorize representatives of the City of Inkster to access the property for the (Initial) purpose of site investigation associated with this application.

Yes, I do understand that all building, electrical, plumbing, and fire codes must be met prior to occupancy.

Handwritten signature and the word 'Initial' below it.

PROOF OF OWNERSHIP MUST BE ATTACHED TO THIS APPLICATION (Property Deed)

CLEARLY DESCRIBE THE PROPOSED USE

ALL BUILDING MATERIALS MUST BE LABELED WITH PROJECT NAME OR CASE NUMBER & SUBMITTED TO THE PLANNING DEPARTMENT ALONG WITH SITE PLANS.

For Initial Submittal: FIVE SETS OF 24"x36" SITE PLANS FOR COMMERCIAL OR RESIDENTIAL DEVELOPMENT (SIX SETS IF IN TCD), DRAWN AT AN ENGINEERING SCALE OF 1"=30' OR LARGER SHOWING:

- Existing conditions of subject parcel
- Proposed layout and landscaping plan
- All adjacent and abutting property lines, public rights of ways, zoning, and buildings within a radius of 100 feet
- Building floor plan and all building elevations.
- Storm, water, and sanitary sewers.
- Photometric plan if new lighting is proposed

ALL PRINTS MUST BE FOLDED, STAMPED, SEALED, AND SIGNED BY A MICHIGAN LICENSED ARCHITECT OR ENGINEER.

**PLANNING & COMMUNITY DEVELOPMENT
 PETITION FOR SITE PLAN REVIEW AND/OR SPECIAL LAND USE
 (313)-563-9760**

REVIEW FEES:

Commercial – less than an acre	\$1,750
Commercial – an acre or more	\$1,800 + \$50 per acre
Residential – less than an acre	\$1,450 plus \$6 per unit
Residential – an acre or more	\$1,500 + \$6 per unit
Special Land Use	\$1,450 + \$6 per acre
Public Hearing	\$350 (Required for SLU)

Applicant is responsible for contract engineering and planning fees. Deposit required at time of application.

PLEASE NOTE - Partial acres are rounded up. On plans resubmitted for review, 1/2 of the original fee.

***ALL REVISIONS MUST BE BUBBLED ON RESUBMITTED PLANS.**

Prior to planning commission review applicant will be asked to provide 11 hardcopies of site plans and one digital set
 Prior to Final Site Plan approval applicant will be asked to provide three hardcopies of site plans and one digital set.

Affidavit of Petitioner

The undersigned Petitioner, being duly sworn, deposes and says that the statements and information herewith submitted are true and correct to the best of his/ her knowledge, information and belief; further, that she is authorized to submit this Petition.

Abe Hachem
 Signature of Petitioner

Abe Hachem
 Printed Name of Petitioner

313-304-9099
 Petitioner Telephone Number

12/2/2020
 Date

Authorized member
 Title of Petitioner

Abe @ MWB Mich.com
 Petitioner E-Mail Address

Company's Name _____
 Company's Address _____

- PROOF OF REPRESENTATION MUST BE ATTACHED TO THIS APPLICATION IF THE PETITIONER IS NOT THE OWNER OF PROPERTY REQUESTING REVIEW.

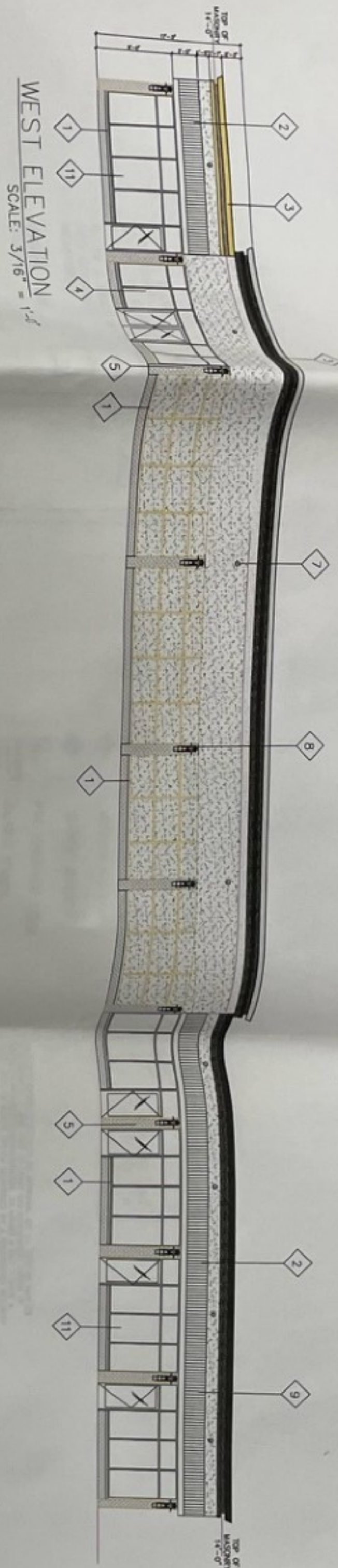
Subscribed and sworn to before me this 3rd day of December 2020

Felicia M. Thomas
 Notary Public, Wayne County, Michigan

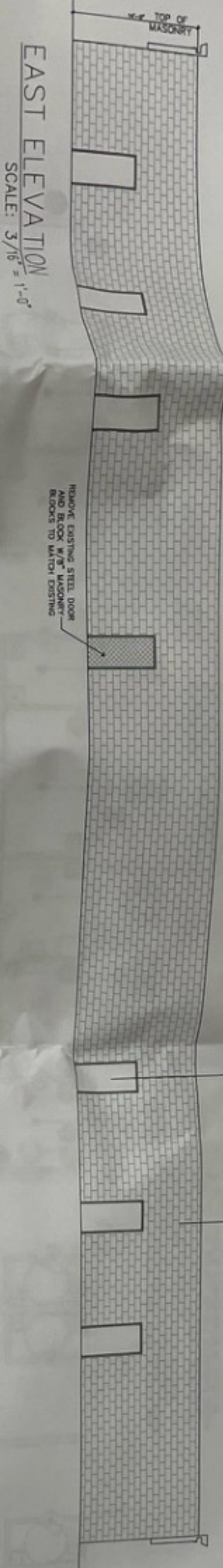
My Commission Expires January 3, 2023



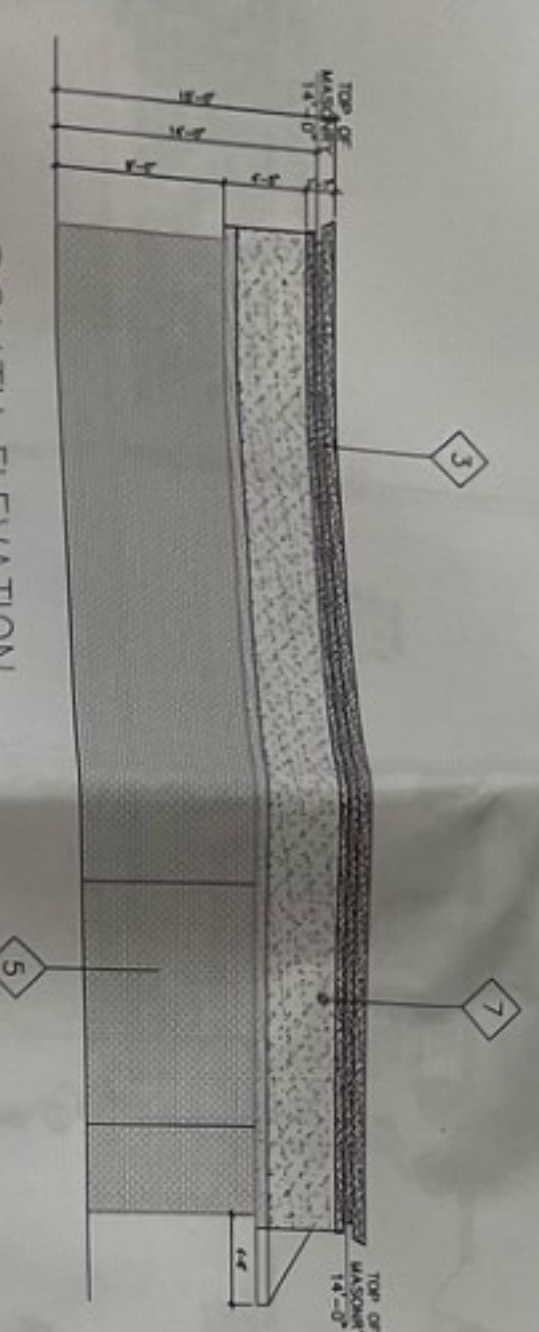
MILL PLAZA
315 N INKSTER RD
INKSTER, MI



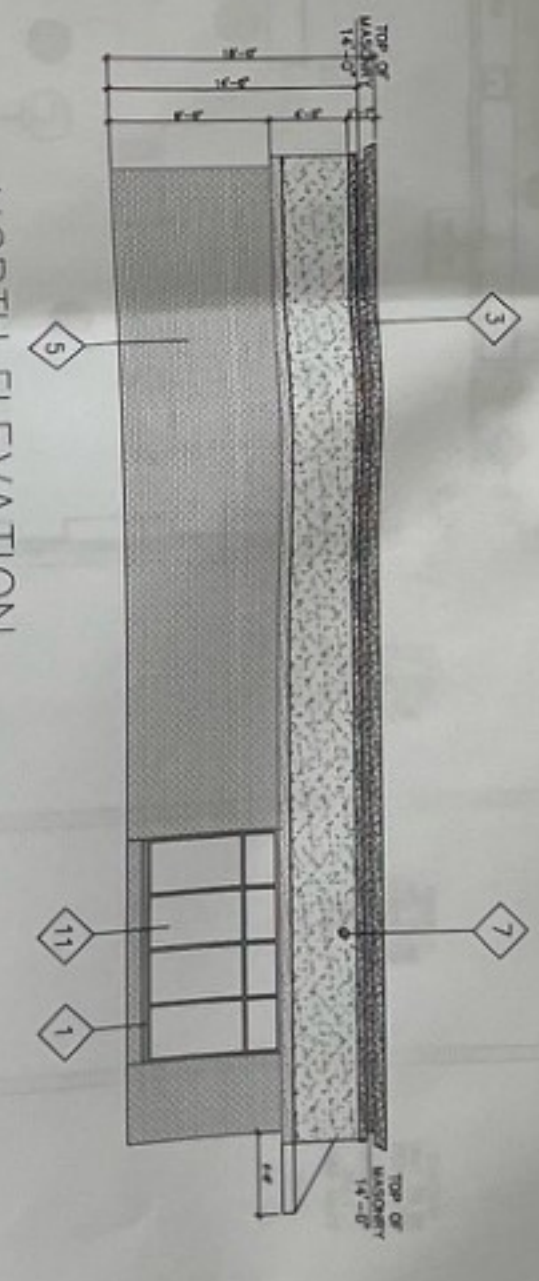
WEST ELEVATION
SCALE: 3/16" = 1'-0"



EAST ELEVATION
SCALE: 3/16" = 1'-0"



SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



NORTH ELEVATION
SCALE: 3/16" = 1'-0"

- ELEVATION KEY**
- 1 4" LIME STONE SILL
 - 2 ROD HUNG STEEL AWNING
 - 3 CORNICE WITH 1 1/2" RIGID INSULATION AND BRUSHED ALUMINUM FLASHING
 - 4 NEW 1 1/4" SECURITY GLASS IN BRONZE ALUMINUM FRAME
 - 5 DENOTES TEMPERED GLASS
 - 6 EXISTING 4" FACE BRICK
 - 7 ANCHOR BOX FOR STOREFRONT SIGN PROVIDE ONE FOR EACH SPACE
 - 8 BRONZE BLOCK GLASS 3/8" MIN. (SILVER)
 - 9 SMALL SCALE LANTERN MOUNTING HT. 8'-2" A.F.F. TYPICAL ON COLUMNS
 - 10 STANDING SEAMS METAL ROOF (COPPER PANELS)
 - 11 E.F.S. ON 1 1/2" RIGID INSULATION
 - 12 1" INSULATED GLASS IN NEW ALUMINUM FRAME
 - 13 EXISTING MASONRY SLOOPS
 - 14 EXISTING STEEL DOORS

CPD Cannabis Professional Design LLC.
4320 PRATT RD
ANN ARBOR, MI 48103
PH:(313) 790-0129

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A & M CONSULTANTS

835 MASON ST.
DEARBORN, MI 48124
PH:(313) 790-0129
FAX:(313) 582-0028

PROJECT:
Provisioning
Center
315 N INKSTER RD
INKSTER, MI 48141

CLIENT:
FOA REAL ESTATE
26021 FORDCANT AVE
WESTLIE, MI 48141
OFFICE: 313-254-9106
CELL: 313-3040-9009
EMAIL: bob@foareale.com
Issued:
01/28/2021

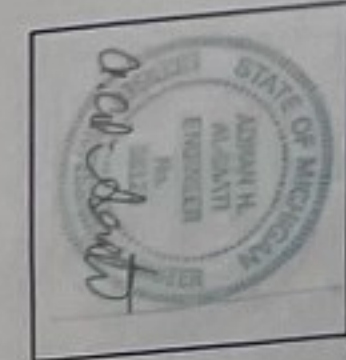
NOTE:
Do not scale drawings. Use indicated dimensions only. Verify existing conditions in the field.

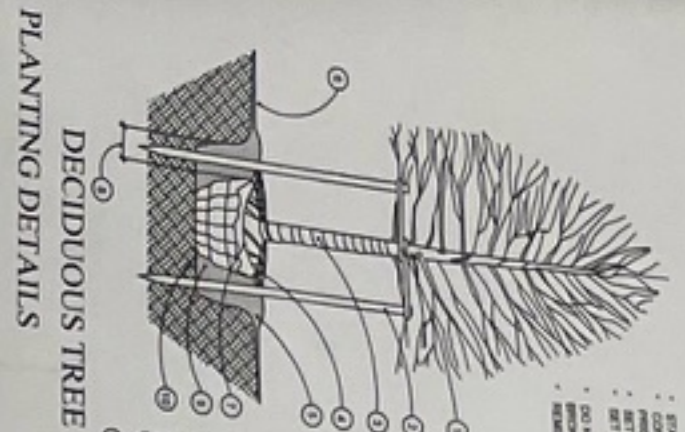
SHEET TITLE:
ELEVATION PLAN

SCALE:
1/8" = 1'-0"

Project Number:
21-101

SHEET NUMBER:
A101





DECIDUOUS TREE

1. Tree shall be planted in a hole that is 1/2" wider than the root ball.
2. The hole shall be 1/2" deeper than the root ball.
3. The hole shall be filled with a 50% mix of topsoil and compost.
4. The hole shall be watered immediately after planting.
5. The hole shall be mulched with a 2" layer of mulch.
6. The hole shall be watered again in 2 weeks.
7. The hole shall be watered again in 4 weeks.
8. The hole shall be watered again in 6 weeks.
9. The hole shall be watered again in 8 weeks.
10. The hole shall be watered again in 10 weeks.



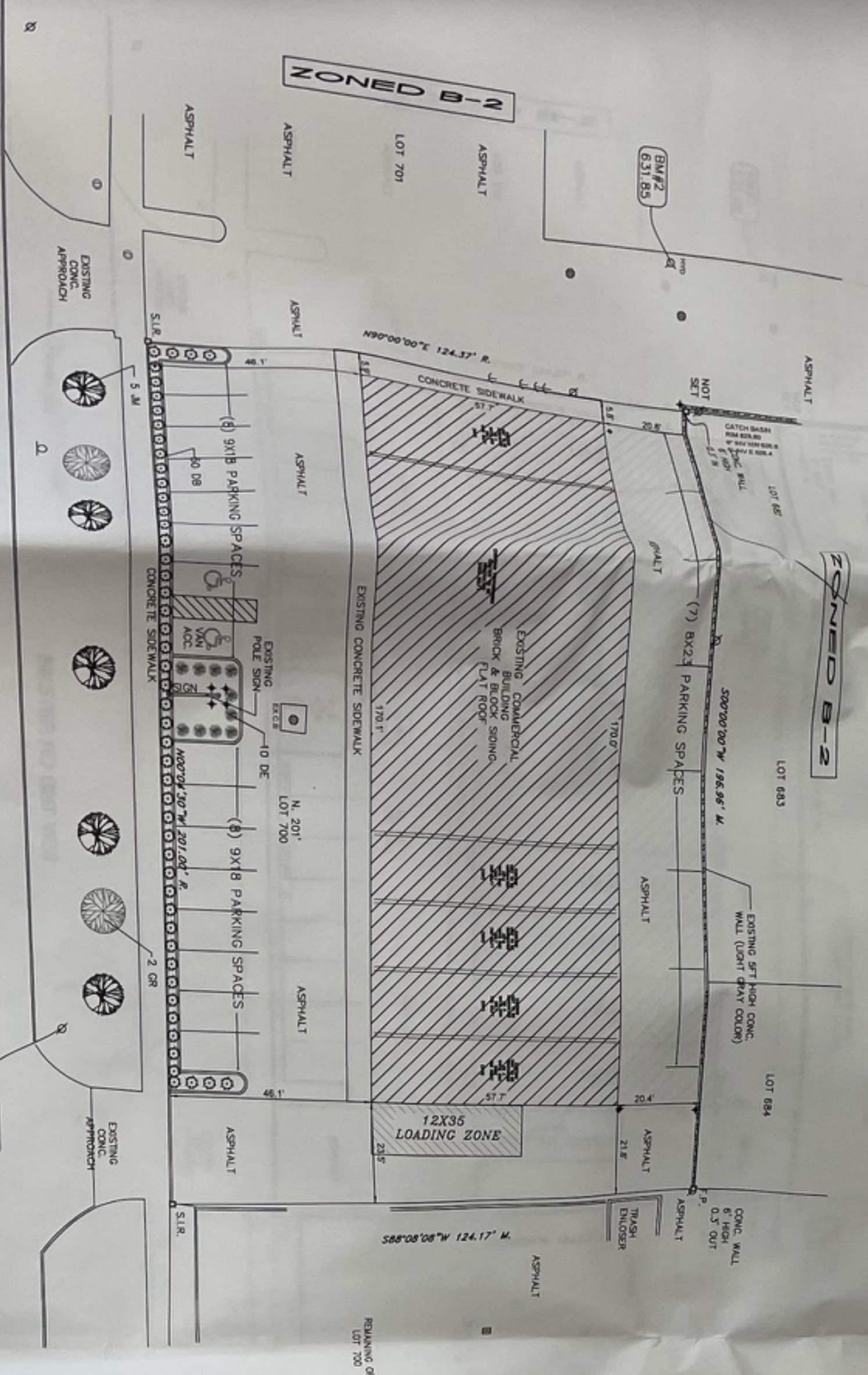
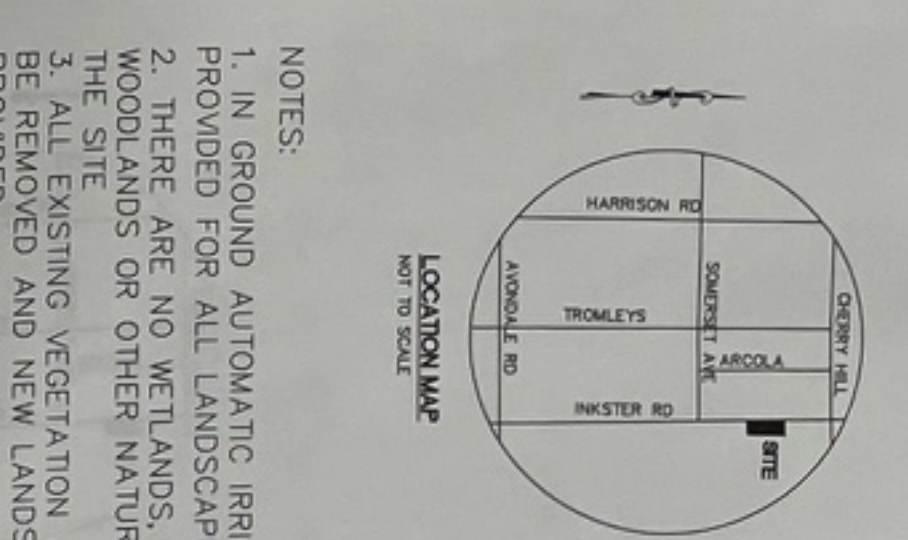
SHRUB

1. Shrubs shall be planted in a hole that is 1/2" wider than the root ball.
2. The hole shall be 1/2" deeper than the root ball.
3. The hole shall be filled with a 50% mix of topsoil and compost.
4. The hole shall be watered immediately after planting.
5. The hole shall be mulched with a 2" layer of mulch.

LANDSCAPE DATA :

QUANTITY	SIZE	BOTANICAL NAME	COMMON NAME	SYMBOL
10	36 IN HIGH	EMPIRICUS	COMMON YEW	SYMBOL
10	36 IN HIGH	PRUNUS SP.	PRUNUS SP.	SYMBOL
2	24" CALIPER	KOENIGSTONIA P.	KOENIGSTONIA P.	SYMBOL
2	24" CALIPER	ACORN PLANTAIN	ACORN PLANTAIN	SYMBOL
9	2-2" CALIPER	JAPANESE RED MAPLE	JAPANESE RED MAPLE	SYMBOL

LANDSCAPING PROVIDED:
DECIDUOUS SHADE TREE PROVIDED = 21 TREES
SHRUBS PROVIDED = 141 SHRUBS
PLANTING PROVIDED = 162 PLANTS



LANDSCAPING PLAN
SCALE 1" = 20'-0"
ZONED B-2
ZONED R-1B
INKSTER RD (200' WD)
ASPHALT

11.0 The Contractor shall be responsible for providing the materials for the landscape plants, including but not limited to trees, shrubs, and ground cover. The Contractor shall be responsible for providing the materials for the landscape plants, including but not limited to trees, shrubs, and ground cover. The Contractor shall be responsible for providing the materials for the landscape plants, including but not limited to trees, shrubs, and ground cover.

12.0 The Contractor shall be responsible for providing the materials for the landscape plants, including but not limited to trees, shrubs, and ground cover. The Contractor shall be responsible for providing the materials for the landscape plants, including but not limited to trees, shrubs, and ground cover. The Contractor shall be responsible for providing the materials for the landscape plants, including but not limited to trees, shrubs, and ground cover.

13.0 The Contractor shall be responsible for providing the materials for the landscape plants, including but not limited to trees, shrubs, and ground cover. The Contractor shall be responsible for providing the materials for the landscape plants, including but not limited to trees, shrubs, and ground cover. The Contractor shall be responsible for providing the materials for the landscape plants, including but not limited to trees, shrubs, and ground cover.

14.0 The Contractor shall be responsible for providing the materials for the landscape plants, including but not limited to trees, shrubs, and ground cover. The Contractor shall be responsible for providing the materials for the landscape plants, including but not limited to trees, shrubs, and ground cover. The Contractor shall be responsible for providing the materials for the landscape plants, including but not limited to trees, shrubs, and ground cover.

15.0 The Contractor shall be responsible for providing the materials for the landscape plants, including but not limited to trees, shrubs, and ground cover. The Contractor shall be responsible for providing the materials for the landscape plants, including but not limited to trees, shrubs, and ground cover. The Contractor shall be responsible for providing the materials for the landscape plants, including but not limited to trees, shrubs, and ground cover.

16.0 The Contractor shall be responsible for providing the materials for the landscape plants, including but not limited to trees, shrubs, and ground cover. The Contractor shall be responsible for providing the materials for the landscape plants, including but not limited to trees, shrubs, and ground cover. The Contractor shall be responsible for providing the materials for the landscape plants, including but not limited to trees, shrubs, and ground cover.

17.0 The Contractor shall be responsible for providing the materials for the landscape plants, including but not limited to trees, shrubs, and ground cover. The Contractor shall be responsible for providing the materials for the landscape plants, including but not limited to trees, shrubs, and ground cover. The Contractor shall be responsible for providing the materials for the landscape plants, including but not limited to trees, shrubs, and ground cover.

18.0 The Contractor shall be responsible for providing the materials for the landscape plants, including but not limited to trees, shrubs, and ground cover. The Contractor shall be responsible for providing the materials for the landscape plants, including but not limited to trees, shrubs, and ground cover. The Contractor shall be responsible for providing the materials for the landscape plants, including but not limited to trees, shrubs, and ground cover.

19.0 The Contractor shall be responsible for providing the materials for the landscape plants, including but not limited to trees, shrubs, and ground cover. The Contractor shall be responsible for providing the materials for the landscape plants, including but not limited to trees, shrubs, and ground cover. The Contractor shall be responsible for providing the materials for the landscape plants, including but not limited to trees, shrubs, and ground cover.

CLIENT:
HOK REAL ESTATE
28051 MICHIGAN AVE
ANN ARBOR, MI 48106
OFFICE: 313-234-9106
CELL: 313-3040-9009
EMAIL: hok@hok.com

PROJECT:
Provisioning
Center
315 N INKSTER RD
ANN ARBOR, MI 48106

DATE:
01/28/2021

SCALE:
1" = 20'-0"

SHEET NUMBER:
21-101
LS100

NOTE:
Do not scale drawings. Use dimensions from drawings. Verify existing conditions in field.

SHEET TITLE:
LANDSCAPING PLAN

CPD Cannabis Professional Design LLC.
4320 PRATT RD
ANN ARBOR, MI 48103
PH: (313) 790-0129

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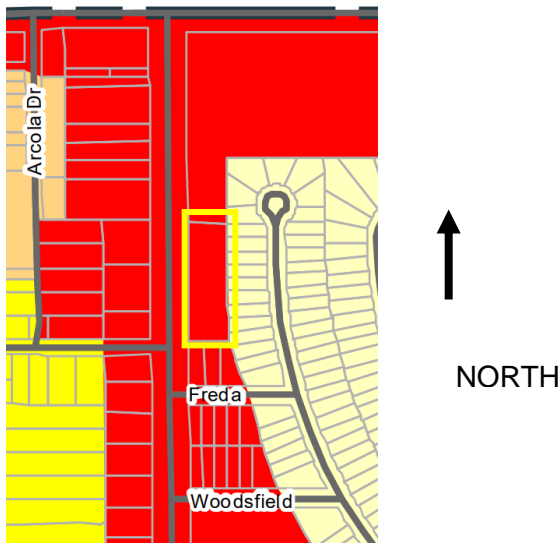
NOTICE OF PUBLIC HEARING
CITY OF INKSTER, WAYNE COUNTY, MICHIGAN

RE: Case No. 20-37, 20-38 (SLU)

In accordance with and pursuant to the Michigan Zoning Enabling Act, Act 110 of 2006, as amended, notice is hereby given that the City of Inkster Planning Commission will hold a public hearing on **Monday, January 29, 2024**. Information to join the meeting can be found at City Hall located at 26215 Trowbridge, Inkster, Michigan, 48141 or at www.cityofinkster.com. The purpose of this hearing is to consider a special land use to allow an adult use marijuana retailer and medical marijuana provisioning center in the B-2, Thoroughfare Mixed-Use District at 315 Inkster Road. Abe Hachem, on behalf of HOA Real Estate LLC, is the applicant. The subject property is located on the east side of Inkster Road south of Cherry Hill and north of Freda Street and is legally described as follows:

TAX ID: 44 017 04 0700 301

19M700A THE N 201.00 FT OF LOT 700 - - - CHERRY HILL MANOR NO. 4 T2S R10E L73 P29, 30 WCR. - - K - 0.57



Public comments are invited. Persons unable to attend the public hearing may send their comments in writing to the attention of the City of Inkster Planning Department, 26215 Trowbridge, Inkster, Michigan, 48141. Comments will be received through 12:00 noon, Monday, January 29, 2024. Please reference Case No. 20-37 and 20-38 (SLU) in all correspondence.

The City of Inkster will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and audio tapes of printed materials being considered at the public hearing to individuals with disabilities upon five business days written notice. Individuals with disabilities requiring auxiliary aids or services should contact the City of Inkster at 313.563.9770.

Submitted, Inkster City Clerk

PUBLISH BY: January 11, 2024

Planning Department • 313.563.9760



MCKENNA

January 12, 2024

Planning Commission
City of Inkster
26215 Trowbridge
Inkster, MI 48141

Subject: Special Lane Use and Site Plan Review: Marijuana Adult Use Retailer
Location: 315 Inkster Road / Parcel ID: 44 017 04 0700 301
Zoning: B-2 Mixed Use Thoroughfare District
Project #: SPR 20-37; SLU 20-38


Dear Commissioners,

We have been asked to review the application for site plan and special land use application that was received December 3, 2020, with the site plan dated January 28, 2021, and submitted on February 3, 2021. The application was reviewed by the City’s Planner, Katilyn Hines on March 2, 2021, but was never presented to the Planning Commission or City Council. During the transition period where the Planning Office was vacated the application was misplaced and was located in October 2023 during a file reorganization process.

This review will use the current ordinance standards to assess the application as was requested by the administration. The application was to rehabilitate the existing building and occupy the location of a previous marijuana retailer at 315 Inkster Road after fire damage occurred to the building in 2019. The owner has received a certificate of occupancy and license to operate the marijuana retailer and is currently open for operation.

The applicant Abe Hachem, representing HOA Real Estate LLC, proposed utilizing a 2,300 sq ft portion of the approximately 10,000 sq. ft. plaza at 297-333 Inkster for a marijuana retailer. The location was previously approved for a marijuana retailer in 2016. The property is located on the east side of Inkster Road, south of Cherry Hill and north of Freda Street.



 Subject site

PROJECT SUMMARY

The site is zoned B-2, Mixed-Use Thoroughfare District, where marijuana adult uses are considered special land uses.



HEADQUARTERS
235 East Main Street
Suite 105
Northville, Michigan 48167

☎ 248.596.0920
☎ 248.596.0930
MCKA.COM

Communities for real life.



RECOMMENDATIONS

Special Land Use Consideration. Comments received during the public hearing should be added to the following considerations when making the recommendation to City Council.

1. *The location is within approximately 114 feet (property line to property line) of a preschool, Kreative Kids, and does not meet the requirement of the 500 foot buffer;*
2. *Abide by all requirements indicated in the Site Plan Review, including but not limited to providing a Security Plan and hours of operation in compliance with Chapter 124 requirements;*
3. *Add "No Smoking" signs on the site plan;*
4. *Add a note agreeing to inspections upon request by the Building Official, Fire Department and law enforcements officials;*
5. *Add a note agreeing to quarterly inspections;*
6. *Add a note indicating that all marijuana related activity shall be done indoors;*
7. *Add a note agreeing to maintain a log book and/or database identifying by date the amount of medical marijuana on the premises for each qualifying patient/caregiver;*
8. *Add a note indicating that all marijuana will be contained within an enclosed, locked facility;*
9. *Add a note indicating that the sale, consumption or use of alcohol or tobacco products on the premises is prohibited;*
10. *The use is not harmonious with the current 2017 Master Plan;*
11. *The use may not be considered an improvement to the community when weighing social and health disadvantages against economic benefits;*
12. *The use has a high potential for nuisance from odors;*
13. *The use is subject to review from the City Engineering, Fire Department, and Police Department.*

Site Plan Consideration. The following items are a list of requirements that can be reviewed administratively:

1. *Percentage calculations of the total glass area are not provided for the building; the applicant must provide calculations to show that the minimum of 30% is provided. If not provided, additional windows will be required;*
2. *Landscaping standards must be met;*
3. *The wall height shall be specified and rectified for consistency within the site plan;*
4. *The trash enclosure must be noted on the site plan;*
5. *The illumination and height standards for lighting must be met;*
6. *Provide width of maneuvering lanes in parking lots;*
7. *A security plan needs to be provided and will need to be reviewed by the City Police Chief;*
8. *The site plan is subject to the review from the City Engineering, Fire Department, Police Department, and Wayne County Road Commission.*

Respectfully submitted,

McKENNA

Jane Dixon,
Senior Planner, AICP, NCI



Special Land Use Review

Standards for Special Land Use are set forth by [Section 155.289](#). This project is reviewed against the City's [Zoning Ordinance](#), [Master Plan](#), existing site conditions, and sound planning and design principles. We offer the following comments for your consideration; underlined items require additional discussion and/or identify outstanding items to be addressed.

1. HARMONY WITH MASTER PLAN

Will be harmonious and in accordance with the goals, policies, and actions of the Master Plan.

Findings: The 2017 Master Plan Future Land Use Map designates this area as Corridor Convenience Retail, which intends to permit daily services and goods to be readily available for the community. Permitted uses include retail and office uses on the first floor and office and residential on the second floors and above. Examples include modest size food stores, hardware, drug stores, dry cleaners, banks, professional offices, and similar uses. The proposed use is a marijuana retailer. Since a marijuana adult use retailer have similar components to those of a pharmacy/drug store, which is an intended use for this district.

It should be noted that the 2017 Master Plan falls silent on the issue of marijuana establishments and needs to be updated. Marijuana establishments are only mentioned three times within the Master Plan: two comments support marijuana businesses and one comment offers concern. Given that the Master Plan was last updated in 2017, it would be advantageous for the City to undertake an update to capture the current perspective of the community on future development desires and needs.

2. HARMONY WITH EXISTING CHARACTER

Will be designed, constructed, operated, and maintained so as to be visually and physically harmonious and appropriate in appearance with the existing or intended character of the general vicinity and not change the essential scale and character of the area.

Findings: The front of the building experienced fire damage and was completely rebuilt, the proposed (and executed) elevations are harmonious with the surrounding buildings. The location previously was occupied by a marijuana retailer and therefore this use does not suggest a change in the character of the area.

3. IMPROVEMENT TO THE COMMUNITY

Will be a visual, physical, and economic improvement in relation to the property in the immediate vicinity and to the City as a whole.

Findings: The highest scoring objective received from Public Input in the 2017 Master Plan Goals Priorities Survey is to “retain business that provide tax base and job opportunity”. The project will activates an underutilized site, which will increase the City’s tax base and provide job opportunities. However, consideration should be given to any perceived social costs of opening marijuana businesses; which can be monitored by updating the community feedback portion of the Master Plan.

Additionally, the building was previously vacant and boarded due to the fire damage, and re=occupancy of the vacant structure resulted in a visual, physical, and economic improvement to the subject property, surrounding properties, and City as a whole.



4. ADEQUATE PUBLIC SERVICES AND FACILITIES

Will be served adequately by essential public services and facilities or that the persons responsible for the establishment of the proposed use will adequately provide any such service or facility.

Findings: The capacity of the City's infrastructure and services appears to be sufficient to accommodate the facility. We will defer any observations of additional resources above and beyond the normal expectation to the City Police, City Engineer, and City Fire Department.

SMOKE, FUME, GLARE, NOISE, VIBRATION OR ODOR POLLUTION

Will not involve uses, activities, processes, materials, equipment, and conditions of operation that will be detrimental to any person or property or to the general welfare by reason of excessive smoke, fumes, glare, noise, vibration, odors, traffic generation or other nuisances generated by the proposed use.

Findings: The subject site is surrounded by other parcels zoned B-2 Mixed-Use Thoroughfare District. The marijuana retailer is located off of Inkster Road which is designed to move high volumes of regional traffic, therefore it is not expected to create undue strains on traffic. The site is designed to not create any excessive impacts of lighting or glare. The use is not anticipated to create vibration, smoke, or fumes.

Odor could become a potential nuisance that would need to be remedied with the proper filtration equipment as required by the State of Michigan.

6. REDUCTION OF ECONOMIC VIABILITY

Will not erode or reduce the economic viability of other existing land uses. Consideration shall be given to the compatibility of other existing uses with the proposed use and maintaining land values within the City.

Findings: While the active use of the site increases the economic viability of the surrounding area. The business is located within a commercial district and a major thoroughfare which does help bring customers into the area and potentially create more customers for adjacent stores. However, the location of a marijuana retailer could potentially discourage other types of users from locating within the vicinity of the facility.

7. EXCESSIVE OR ADDITIONAL COSTS TO PUBLIC SERVICES

Will not create excessive additional requirements at public costs for public facilities and services and will not be determinate to the economic welfare of the community.

Findings: This section is addressed in Section 4 and 5 of the Special Land Use Review. The proposed use is not anticipated to create additional public costs. However, we defer to the City engineer, fire department, and police department for any additional comments.

8. ENHANCE HEALTH, SAFETY, WELFARE, MORALS, CHARACTER, COMFORT AND CONVENIENCE.

Will further and enhance the health, safety, welfare, morals, character, comfort, convenience, and policies of the City, will not create excessive additional public costs or be detrimental to the economic welfare of the City.

Findings: The location of the facility is not believed to be a detriment to the safety or welfare as it is required to provide security plans and maintain a security system linked to the City's Police Department. The preservation of public health and like-minded aspects are compliant with local and MRTMA regulations. Even though the project requires a Security Plan, marijuana businesses are cash based and federally prohibited. Members of the community could be concerned that large on-site cash stocks could be targets for criminals.



9. CONSISTENT WITH INTENT OF ZONING ORDINANCE

Will be consistent with the intent and purposes of this Zoning Code, and comply with all the specific standards as established for said use by the Ordinance.

Findings: The reuse of the existing commercial building for retail is supported by the intent of the B-2 Thoroughfare Mixed-Use District. Furthermore, the Site Plan review enforces zoning ordinance standards and guides the site to comply. Site Plan Review criteria needs to be met to meet this requirement.



Additional Use Standards Review

Additional use standards for adult use marijuana retailers and medical marijuana provisioning centers are prescribed in the Zoning Ordinance, as noted in the table below. We offer the following comments for your consideration; underlined items require additional discussion and/or identify outstanding items to be addressed.

Use	Zoning Ordinance Use Standards – Applicable Sections
Standards for All Medical Marijuana Facilities and Recreational Marijuana Establishments	155.146
Medical Marijuana Provisioning Centers and recreational Marijuana Retailer Establishments	155.148

STANDARDS FOR ALL MEDICAL MARIJUANA FACILITIES AND MARIJUANA ESTABLISHMENTS (§ 155.146)

- The use of marijuana shall comply at all times and in all circumstances with the Michigan Medical Marihuana Act, Medical Marihuana Facilities Licensing Act, State of Michigan regulations for the transfer of medical marijuana, and the General Rules of the Michigan Department of Community Health, as they may be amended from time to time. The recreational use of marijuana shall comply at all times and in all circumstances with the Michigan Regulation and Taxation of Marihuana Act, the rules and regulations established by the Marijuana Regulatory Agency, and the General Rules of the Michigan Department of Community Health, as they may be amended from time to time.*

Findings: The applicant will be required to supply information and documentation related to the procurement of a state license. Approval shall be contingent on all state requirements being met. If the State of Michigan determines that building or site modifications are required, then a new site plan and a special land use application may need to be filed with the City of Inkster.
- A state license and local business license is required for all medical marijuana facilities and recreational marijuana establishments.*

Findings: The applicant will be required to supply information and documentation related to the procurement of a state license. A state license must be obtained prior to issuing a local business license and certificate of occupancy. It is our understanding that a state license has been obtained.
- Smoking and/or use of any marijuana shall be prohibited at all medical marijuana facilities and recreational marijuana establishments.*

Findings: This finding can be made if the applicant adds a note to the site plan indicating “no smoking” signs will be posted across the site.
- Security cameras shall be installed and maintained; and are subject to approval by the City Police Chief. All security cameras shall have a minimum resolution of 1080p, and at least 14 concurrent days of digitally recorded documentation. The security cameras shall be in operation 24 hours a day, seven days a week, and shall be set to maintain the record of the prior 14 days of continuous operation. An alarm*



system is required that is operated and monitored by a recognized security company.

Findings: We defer to the Police Department for any additional information and approval.

1. *Exterior lighting shall be required for security purposes, but in accordance with the provisions of the Zoning Ordinance.*
Findings: Site lighting is reviewed by Zoning Ordinance standards during the Site Plan Review process.
2. *The premises shall be open for inspection upon request by the Building Official, the Fire Department and law enforcement officials for compliance with all applicable laws and rules, during the stated hours of operation/use and as such other times as anyone is present on the premises.*
Findings: The applicant will need to add a statement signifying their agreement to this: without agreement, this finding is not supported.
3. *Quarterly inspections may be made by the City Official's designee to confirm the facility is operating in accordance with applicable laws including, but not limited to, state law and city ordinances.*
Findings: The applicant will need to add a statement signifying their agreement to this: without agreement, this finding is not supported.
4. *All medical marijuana facilities or recreational marijuana establishments shall not have exterior signage using the word "marihuana" and/or "marijuana" or any other word, phrase or picture commonly understood to refer to marijuana. Neon signs and non-functional decorative lighting shall be prohibited. Sign(s) shall be posted stating that "No loitering is permitted" on such property.*
Findings: Exterior signage requires a separate review from the Site Plan and Special Land Use reviews. The applicant has made an application for sign review which was approved.
5. *If the medical marijuana facility or recreational marijuana establishment ceases operation for a length of time of six months or greater, the special land use shall expire.*
Findings: The applicant should provide confirmation that they are aware of this stipulation.
6. *Marijuana facilities are not permitted to operate in a manner that results in adverse impacts on adjacent property; including excessive odor, traffic, noise, or loitering. The City may place reasonable conditions on facilities to ensure operation consistent with community norms. Failure to comply with City regulations or conditions of approval shall be cause to revoke a local license.*
Findings: We are not aware of any adverse impacts from the operation of this facility as it relates to excessive odor, traffic, noise, or loitering.
7. *Marijuana facilities shall be required to provide a vestibule at the primary point of entrance/exit of the facility with proper ventilation to further deter odor from emitting from the building or present an alternative odor prevention plan for approval. Any area that is an entrance from the outside but has a separate door to any area where marijuana is present qualifies as a vestibule.*
Findings: The floor plan provides for a 658 sq. ft. waiting area that separates the fulfillment area and product display area from the main entrance. This finding can be made.



8. *All waste products must be disposed of in compliance with the Michigan Department of Environment, Great Lakes, and Energy's (EGLE's) solid waste, hazardous waste, and liquid industrial by-product regulations.*

Findings: This requirement was added to the ordinance after the submission of the site plan in 2021. The applicant will need to add a statement signifying their agreement to this: without agreement, this finding is not supported. It is the State's responsibility to inspect facilities to ensure compliance with these requirements. We are not aware of any current non-compliance.

9. *No required water supply and sanitary sewerage facilities shall be erected, altered, or moved upon a lot or premises and used in whole or in part for a marijuana facility unless it shall be provided with a safe, sanitary and potable water supply and with a safe and effective means of collection, treatment, and disposal of human excreta and domestic, commercial, and industrial waste. All such installations and facilities shall conform to the minimum requirements of Wayne County, and any applicable statutes, ordinances, or regulations.*

Findings: This requirement was added to the ordinance after the submission of the site plan in 2021. The applicant will need to add a statement signifying their agreement to this: without agreement, this finding is not supported.

10. *All establishments and facilities must ensure that any water emanating from the establishment or facility meets or exceeds all applicable state and local environmental standards.*

Findings: This requirement was added to the ordinance after the submission of the site plan in 2021. The applicant will need to add a statement signifying their agreement to this: without agreement, this finding is not supported.

11. *All activity related to the marijuana establishment or facility shall be done indoors. All marijuana shall be contained within a structure that meets all applicable building code requirements in an enclosed, locked area. A floor plan shall be provided with the site plan application.*

Findings: The floor plan provided shows a 186 sq ft vault for storage of the marijuana. This finding can be made.

12. *All marijuana establishments shall not be located within a 500 feet of a drug free zone, measured as the shortest distance from property line to property line.*

Findings: Kreative Kids Learning Center located across Inkster Road at 314 Inkster qualifies as a preschool program center which is included in the definition of drug free zone. Therefore, there is a preschool within 500 feet of the retailer's location. This finding is not supported.

13. *Application for all marijuana establishments shall be made to the City Clerk upon application forms provided by the Clerk and signed by the applicant verifying the truth and accuracy of all information and representations in the application. Applications including information and documentation provided pursuant to an application shall be subject to the confidentiality rules under the Act. In addition to information and submittals, the application shall include payment of application fee in an amount set by the City Council.*

Findings: The City Clerk furnished proof of application for a marijuana establishment by representative for the applicant. This finding is supported.



MEDICAL MARIJUANA PROVISIONING CENTERS AND RECREATIONAL MARIJUANA RETAILER ESTABLISHMENTS (155.148)

1. *A provisioning center or recreational marijuana retailer shall not be located within a 1,000 feet, measured as the shortest distance from property line to property line, of a lawfully existing medical marijuana provisioning center or recreational marijuana retailer unless the recreational retailer is operated by the same owner and within the same building as the medical marijuana provisioning center.*
Findings: The retailer is not located with a 1,000 feet of any other marijuana retailer at this time. This finding can be made.
2. *A provisioning center shall not share office space with a physician.*
Findings: The retailer does not share office space with a physician. This finding can be made.
3. *Growing, cultivating, manufacturing, or processing of marijuana is prohibited.*
Findings: There is no indication in the floor plan that there will be any growing, cultivating, manufacturing, or processing of marijuana. This finding can be made.
4. *All activity related to the provisioning center shall be done indoors.*
Findings: The site plan and floor plan do not indicate any activity will take place outdoors. This finding can be made.
5. *Any marijuana provisioning center shall maintain a log book and/or database identifying by date the amount of medical marijuana on the premises for each qualifying patient/caregiver, keeping the qualifying patient and caregiver information confidential. This log shall be available to law enforcement personnel to confirm that the marijuana provisioning center does not have more marijuana than authorized at the location and shall not be used to disclose more information than is reasonably necessary to verify the lawful amount of marijuana at the facility. The facility shall maintain the confidentiality of qualifying patients in compliance with the Michigan Medical Marijuana Act, as amended, and applicable State of Michigan rules and regulations.*
Findings: The applicant should provide confirmation that they are aware of this stipulation.
6. *Provisioning center drive-through facilities shall be prohibited.*
Findings: The retailer will not include a drive-through facility.
7. *All marijuana shall be contained within the main building in an enclosed, locked facility.*
Findings: The proposed floor plan does indicate a separate safe room with a vault. This finding can be made.
8. *The sale, consumption, or use of alcohol or tobacco products on the premises shall be prohibited at the provisioning center.*
Findings: The applicant will need to add a statement signifying their agreement to this: without agreement, this finding is not supported.
9. *There shall be no more than eight (8) operating marijuana retail locations at any time.*



Findings: At the time of this review there are five other operating marijuana retailers in the city. This location is currently operational, making the total operational retailers six.



Site Plan Review

Standards for Site Plan Approval are set forth by [Section 155.287](#). This project is reviewed against the City's [Zoning Ordinance](#), [Master Plan](#), existing site conditions, and sound planning and design principles. We offer the following comments for your consideration; underlined items require additional discussion and/or identify outstanding items to be addressed.

1. ZONING & USE (§155.046)

Findings: The subject site is zoned B-2 Mixed Use Thoroughfare District and has a future land use designation of *Corridor Convenience Retail* in the Master Plan. B-2 Mixed Use Thoroughfare District is intended to provide a mixed-use environment that balance both the convenience and comparison shopping needs of neighboring residents. Marijuana retail businesses are considered regional commercial uses. As such, the proposed project does not necessarily seem to be compatible with the zoning district and surrounding uses. Additionally, however, the site plan review is also contingent on special land use approval (by City Council) for the marijuana retailers. Please find the special land use review in the section above. See table below for an understanding of adjacent uses.

Building Square Footage (SF)	Proposed Use	Zoning Requirement
9,814 SF <i>(existing building)</i> 2,453 sf for marijuana retailer	Marijuana retailer	Special land use

Location	Existing Land Use	Zoning District
Subject Site	Vacant Retail Plaza (Marijuana Retailer)	B-2 Mixed Use District
North	Retail Plaza	B-2 Mixed Use District
South	Retail Plaza	B-2 Mixed Use District
East	Single Family Homes	R-1B One Family Residential
West	Preschool	B-2 Mixed Use District

2. DIMENSIONAL STANDARDS (§155.061)

Site elements and the relationship between the various uses on the site shall be designed and located so that the proposed development is aesthetically pleasing and harmonious with adjacent existing and prospective development of contiguous properties and the general planning area. Buildings and structures will meet or exceed setback standards, build-to lines, height and other dimensional standards, and placed to preserve environmentally sensitive areas.



Findings: The dimensional requirements for the B-2 District and the proposed dimensions are listed in the following table.

Dimensional Measurement	Required	Proposed	Comments
Minimum Lot Area	*	0.42 acres	n/a
Minimum Lot Frontage	*	*	n/a
Minimum Front Yard Setback	0	46'1" ft.	In compliance
Minimum Side Yard Setback	0	North (5'9" ft.); South (21'8" ft.)	In compliance
Minimum Rear Yard Setback	0	20'4" ft.	In compliance
Maximum Height	25 ft.	14 ft ; using existing	In compliance
Maximum Percent Lot Coverage	*	~42%: building only	n/a

*Section 155.061 (D): *The minimum lot area and width, and the maximum percent of building coverage shall be determined on the basis of required off-street parking, loading, greenbelt screening, and yard setbacks as provided herein for the respective uses and use districts.*

3. ARCHITECTURAL FEATURES (§155.072)

Building design and architecture shall relate to and be harmonious with the surrounding neighborhood in terms of texture, scale, mass, proportion, materials, and color.

Findings: The applicant is rebuilding the façade of the existing building that was damaged by a fire. The design will be harmonious with the previous texture, scale, mass, proportion, and materials.

Summary of Proposed Changes. Applicant proposed to demolish the existing CMU block and a partial window for a new door the north elevation and retain the existing south, east, and west elevations. Changes to elevations include new paint in a gray color. All existing windows, doors, brick, and front canopy to remain.

Massing. *Structures with walls greater than 1,500 square feet must incorporate building setbacks of at least 3 feet to separate the wall into facade planes not greater than 500 square feet. In addition, façades shall incorporate canopies, fascias or other distinguishing entrance features to the maximum extent feasible.*

- Complies.

Exterior colors. *The color of the exterior materials must be of low-reflectance, subtle, neutral colors. The use of high-intensity or reflectance, and fluorescent colors is prohibited. Building trim may exhibit brighter colors, except neon tubing is prohibited.*

- The building has grey painted concrete panels with purple trim on the columns. This complies.

Façade Windows / Transparency. *At least 30% of the ground floor street facades for retail uses in a B-2 district shall be constructed with windows or other transparent materials.*

- Percentage calculations of the total glass area are not provided for the building; the applicant must provide calculations to show that the minimum of 30% is provided. It appears this standard is met.



4. IMPACT ON PUBLIC SERVICES

Utility services, including sanitary, water and storm runoff, shall not exceed the existing or planned capacity of such services, and shall be developed in the best interest of the public health, safety and welfare of the community. The proposed development shall be designed and located so that public services, including streets and sidewalks, police and fire protection, and public schools have sufficient capacity to properly serve the development, and so that such services will not be adversely affected by the proposed development.

Findings: This item is subject to approval by the City Engineer, City Fire Chief, and City Police Chief.

5. VEHICULAR ACCESS & CIRCULATION

The vehicular circulation system planned for the proposed development shall be in the best interest of the public health, safety, and welfare in regard to on site circulation, onsite parking, the overall circulation of the neighborhood and community, egress/ingress to the site, vehicular turning movements related to parking areas, loading areas, street intersections, street gradient, site distance and potential hazards to the normal flow of traffic both on and off site.

Findings: All approaches are to remain. The applicant has resurfaced the parking lot. The site plan indicates providing a curb cut to the lot to the south, which improves internal circulation and allows for ease of access to the share waste receptacle. Currently the property owner has placed curb stops across this curb cut. Further analysis of vehicular circulation is subject to the review of the City Engineer and Wayne County Road Commission.

For more information on Parking and Loading standards, see section below.

6. PEDESTRIAN ACCESS & CIRCULATION

The pedestrian circulation system planned for the proposed development shall be in the best interest of the public health, safety and welfare in regards to on site circulation and the overall pedestrian circulation of the neighborhood and community.

Findings: No additional sidewalks are proposed on the site. There are existing sidewalks along the western property line abutting Inkster Road.

7. EMERGENCY ACCESS & VULNERABILITY TO HAZARDS

All sites and buildings shall be designed to allow convenient and direct emergency access, and the emergency response needs of the proposed use(s) shall not exceed the City's emergency response capabilities.

Findings: This item is subject to approval by the City Engineer and City Fire Chief.

8. LANDSCAPING (§155.073; 155.080)

Proposed landscaping shall be appropriate and of such size, location, height and quantity to ensure that the proposed development will not be objectionable to nearby development or properties by reason of noise, fumes, flash of lights from automobiles or other lighting, interference with an adequate supply of light and air, an increase in the danger of fire, or other public safety hazard.



Findings: The proposed landscaping on the 2021 Site Plan does not meet the landscaping currently provided on the site.

The site plan states that there will be 21 trees and 141 shrubs provided, but the plan only shows 7 trees and 60 shrubs, this should be corrected on the site plan.

The required and proposed site landscaping is detailed in the table below:

Criteria	Required	Proposed	Comments
Right-of-Way: Deciduous Trees	9 trees (227 ft. / 35 ft.)	2 golden raintrees	<u>There is one existing maple.</u>
Right-of-Way: Ornamental Trees	5 trees (227 ft. /75 ft.)	5 red maple trees	
Planted Yard Area Trees	1 / 3,000 sf	None proposed	Not applicable
Parking Lot: Interior Landscaping	5% of ±6,982 SF impervious area = <u>349 sf</u>	A landscaped area is provided around the pole sign in the parking lot but measurements are not provided.	We estimate that the site plan provides for approx. 250 sf of interior landscaping. Given this is an existing parking lot we believe this to be sufficient.
Parking Lot: Trees	1 deciduous tree per 150 SF of interior area	None proposed.	<u>Given the nature of the existing parking area we do not believe this to be feasible.</u>
Parking Lot: Terminal Landscape Islands	At end of each parking row; min. size of 144 SF and 18 ft. long	None proposed	-
Parking Lot: Interior Landscape Islands	Min. size of 160 SF and 8 ft. in width; plus 1 deciduous tree per each island	None proposed	-
Parking Lot: Divider Min. Size	8 ft. wide	None proposed	Not applicable
Parking Lot: Divider Trees	Continuous hedge the entire length of the divider	None proposed	Not applicable
Parking Lot: Divider Shrubs	Continuous hedge the entire length of the divider	None proposed	Not applicable
Parking Lot: Wheel Stops / Curb	2 ft. min. of overhand clearance needed for any landscape areas	None proposed	Not applicable



Curbing (General)	Concrete curbing is required along all landscape areas	Proposed.	Complies.
Perimeter Parking Lot Landscaping	Inkster Road: 7 deciduous trees (170 ft. / 25 ft.) 5 ornamental trees (170 ft. / 35 ft.)	Inkster Road: 0 deciduous trees 0 ornamental trees	There is no planted area available for parking lot trees along Inkster Road.
Parking Lot: Perimeter Shrubs	Continuous hedge of shrubs, no more than 30- inches on center	50 burning bushes along parking lot perimeter.	Complies.
Snow Storage	Plant materials must be hardy, salt-tolerant groundcover	No snow storage area designated.	Given the nature of the existing site and parking lot a planted snow storage area is not feasible.
Irrigation	Automatic or drip irrigation required	Note on site plan provides irrigation to plantings.	Complies.

9. SCREENING AND BUFFER (§155.074; 155.075)

Proposed screening and buffer areas shall be appropriate and of such size, location, height and quantity to ensure that the proposed development will not be objectionable to nearby development or properties by reason of noise, fumes, flash of lights from automobiles or other lighting, interference with an adequate supply of light and air, an increase in the danger of fire, or other public safety hazard. Screening shall be provided in a manner that adequately buffers adjacent land uses and screens off-street parking, mechanical appurtenances, loading and unloading areas and storage areas from adjacent residential areas and public rights-of-way.

Findings:

Walls. 6-foot high obscuring wall are required along property lines that abuts residential district. The property abuts residentially zoned property along the eastern border. There is an existing 5 ft. concrete wall, which previous site plan reviews recommended that the existing height be maintained as it is not feasible to increase the wall by one foot. The site plan lists the wall as both 5 ft. and 6 ft. in height; this contradiction should be remedied.

Dumpster. The site does not have any trash enclosure. The site plan depicts a shared dumpster with the property just south of the site. The previous site plan noted that a legally binding letter would be provided showing an access agreement for the dumpster. No letter could be located in the City's records.

10. PARKING & LOADING (§155.077; 155.078; 155.079)

The parking pattern proposed shall be in the best interest of the public health, safety and welfare in regards to size, layout and quantity, and the location of parking and loading facilities will not be detrimental to nearby developments, properties or public streets.

Findings: The proposed plan meets parking standards; however, any proposed loading zones must be located in the rear yard of the building.



Parking. Per section 155.077: Table of Required Off-Street Parking, the following parking standards apply:

Marijuana Retail requires 2 spaces, plus 1 space per 175 SF of gross floor area
 = 2+ (2,453 / 175) = 16 spaces
 = 16 parking spaces required (including 1 car-accessible space
 and 1 van accessible space)

Applying these standards, the proposed project requires 16 parking spaces, 1 of which must be van accessible and barrier-free and 1 that is car accessible and barrier-free. Parking spaces are required to be 9-feet in width and 18-feet in length. Width of maneuvering lane not provided. Maneuvering lanes for 90-degree parking is 24 ft and 15 ft for 60-degree parking. The existing maneuvering lanes appear to meet this standard.

The site plan provides for 16 parking spaces, including one van accessible barrier-free space, and one car accessible barrier-free space. It should be noted that these requirements are only for the portion of the building intended to be utilized for the purpose of marijuana retail. If the rest of the building is occupied with general retail the parking requirements would be increased. Given that this is the rehabilitation of an existing building and parking lot we believe the standard is met.

Loading Zone. Per section 155.079, one loading space is required for 2,001-20,000 SF gross floor area. The applicant proposes one 12 ft x 35 ft loading space to the south of the building. Additionally, the site configuration best supports a side-yard, not rear-yard, loading zone.

11. EXTERIOR LIGHTING AND SECURITY CAMERAS (§155.076)

All exterior lighting fixtures shall be designed, arranged, and shielded to minimize glare and light pollution, prevent night blindness and vision impairments, and maximize security. For all non-residential commercial and business properties, security cameras shall be installed, maintained and approved by the City Police Chief. All security cameras shall be high-definition with a minimum resolution of 1080p and night vision with at least 120 concurrent hours of digitally recorded documentation. The security cameras shall be in operation 24 hours a day, seven days a week, and shall be set to maintain the record of the prior 120 hours of continuous operation. An alarm system is required that is operated and monitored by a recognized security company. Security cameras shall be placed to cover the entire site and placement shall be approved by the City Police Chief.

Findings: No photometric plan was provided.

Exterior lighting. The proposed project must meet the illumination and height standards set forth by the Zoning Ordinance and listed in the table below.

The following table details the maximum allowed illumination (levels in footcandles “fc.”) per section 155.076, in comparison with that proposed on the site:

Standards	Standard	Proposed	Comments
Max. Illumination	20 fc.	Not provided	-
Max. Illumination at the Property Line			
For uses adjacent to residential (zoned or used) property	0.1 fc.	Not provided	-



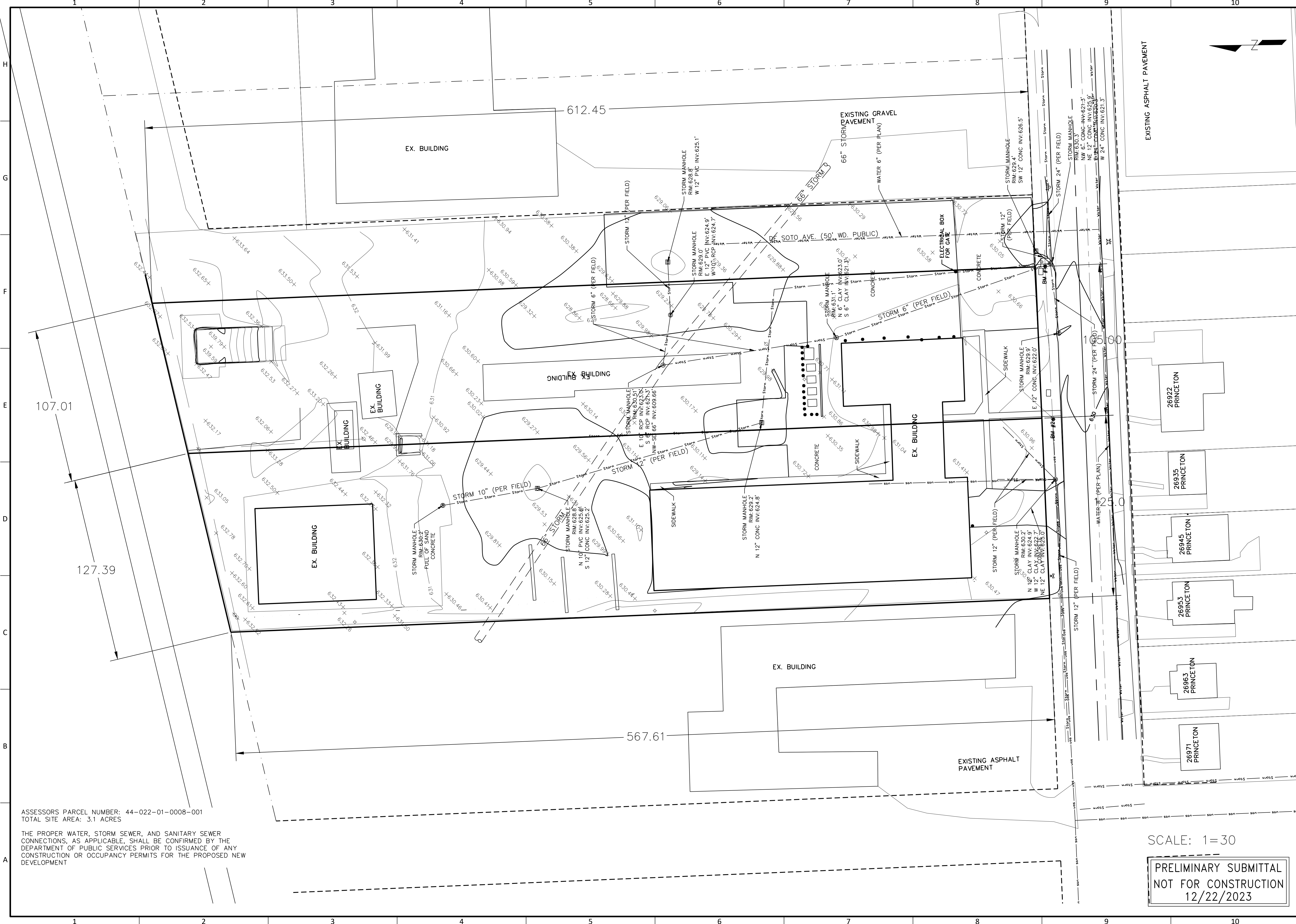
For uses adjacent to non-residential property	0.3 fc.	Not provided	-
Max. Lighting Fixture Height			
For uses adjacent to residential (zoned or used) property	20 ft.	Not provided	-
For uses adjacent to non-residential property	25 ft.	Not provided	-

Security cameras. A security plan needs to be provided and will need to be reviewed by the City Police Chief. The applicant needs to provide information that security cameras will have a minimum resolution of 1080p.

File Location: Y:\Michigan\400005\40075.05_F12023-24_Misc_Eng\Eng_Docs_Tasks\DPS\Task\CAD\0075.05_Surface.dwg [Plot Date: 1/23/2023 2:20:20 PM] [Last Saved: 12/17/2023 1:10:31 PM; S:\stetman]

ASSESSORS PARCEL NUMBER: 44-022-01-0008-001
TOTAL SITE AREA: 3.1 ACRES

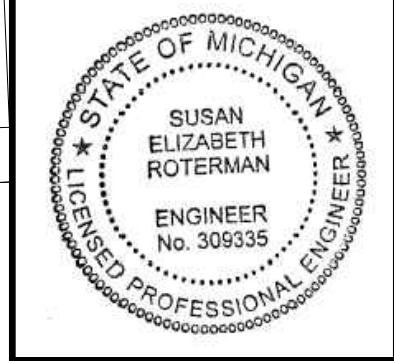
THE PROPER WATER, STORM SEWER, AND SANITARY SEWER CONNECTIONS, AS APPLICABLE, SHALL BE CONFIRMED BY THE DEPARTMENT OF PUBLIC SERVICES PRIOR TO ISSUANCE OF ANY CONSTRUCTION OR OCCUPANCY PERMITS FOR THE PROPOSED NEW DEVELOPMENT



107.01
127.39

SCALE: 1=30
PRELIMINARY SUBMITTAL
NOT FOR CONSTRUCTION
12/22/2023

NO.	REVISIONS	DATE



EXISTING GRADING

DEPARTMENT OF PUBLIC SERVICES
BUILDING RENOVATION
26900 PRINCETON STREET
CONTACT: LA-TORIA TRIPLETT

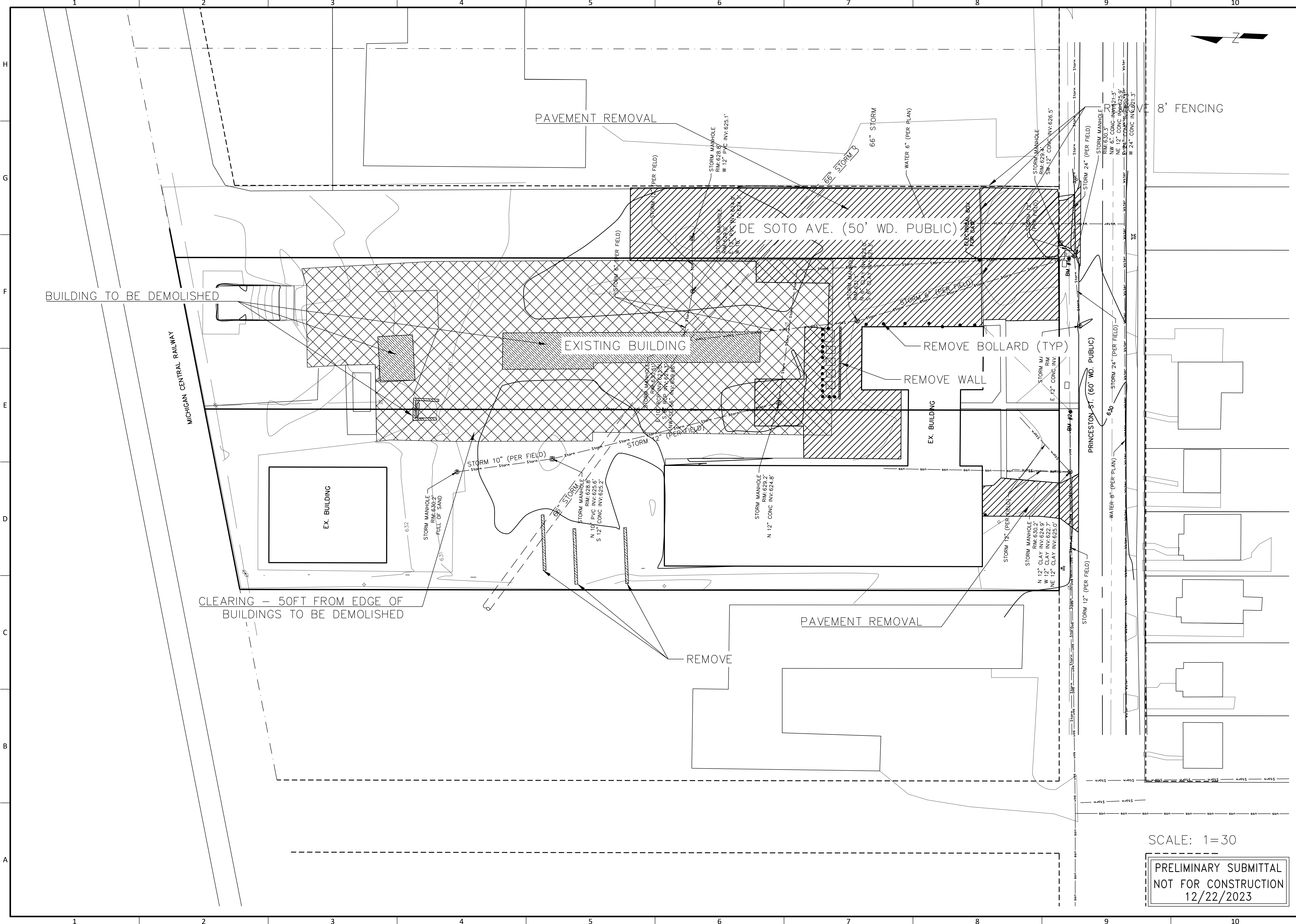
benesch

REGISTERED PROFESSIONAL ENGINEER

DESIGNED BY: _____
CHECKED BY: _____
REVIEWED BY: _____
GUARANTEED BY: _____

JOB NUMBER: 40075.05
DATE: 11/13/23
NAME: DPS YARD
SHEET NO.:

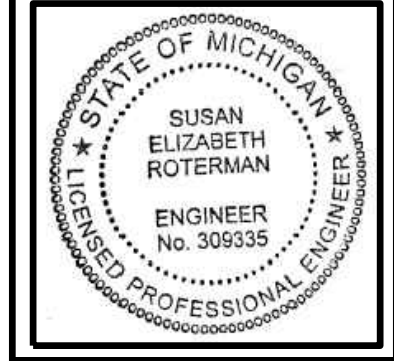
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SCALE: 1=30

PRELIMINARY SUBMITTAL
NOT FOR CONSTRUCTION
12/22/2023

NO.	REVISIONS	DATE



DEMOLITION AND REMOVAL

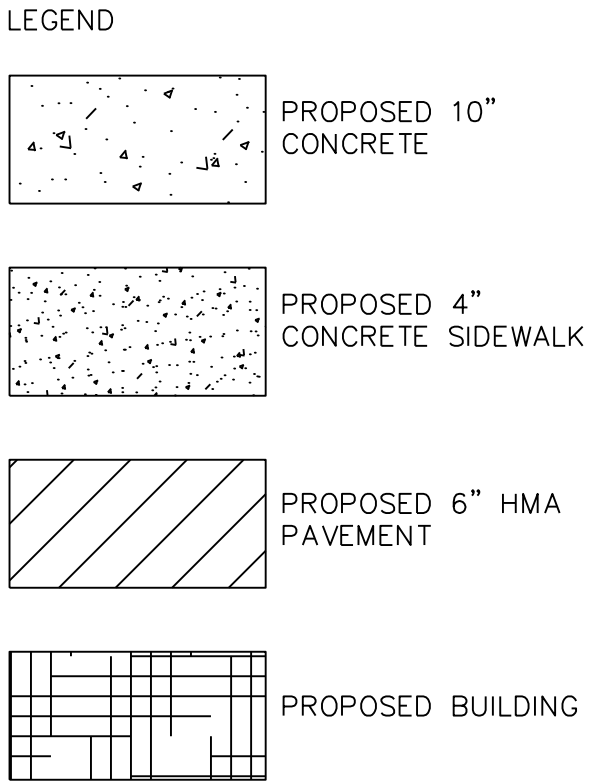
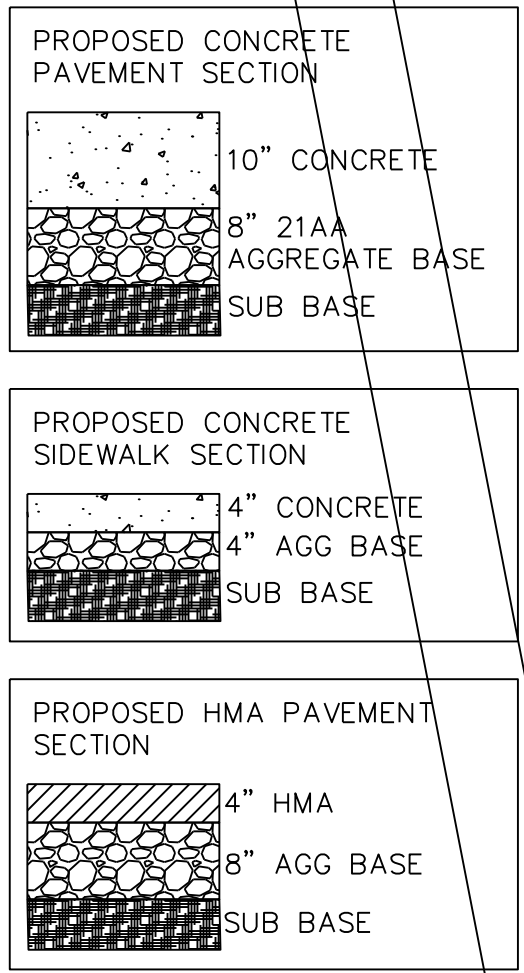
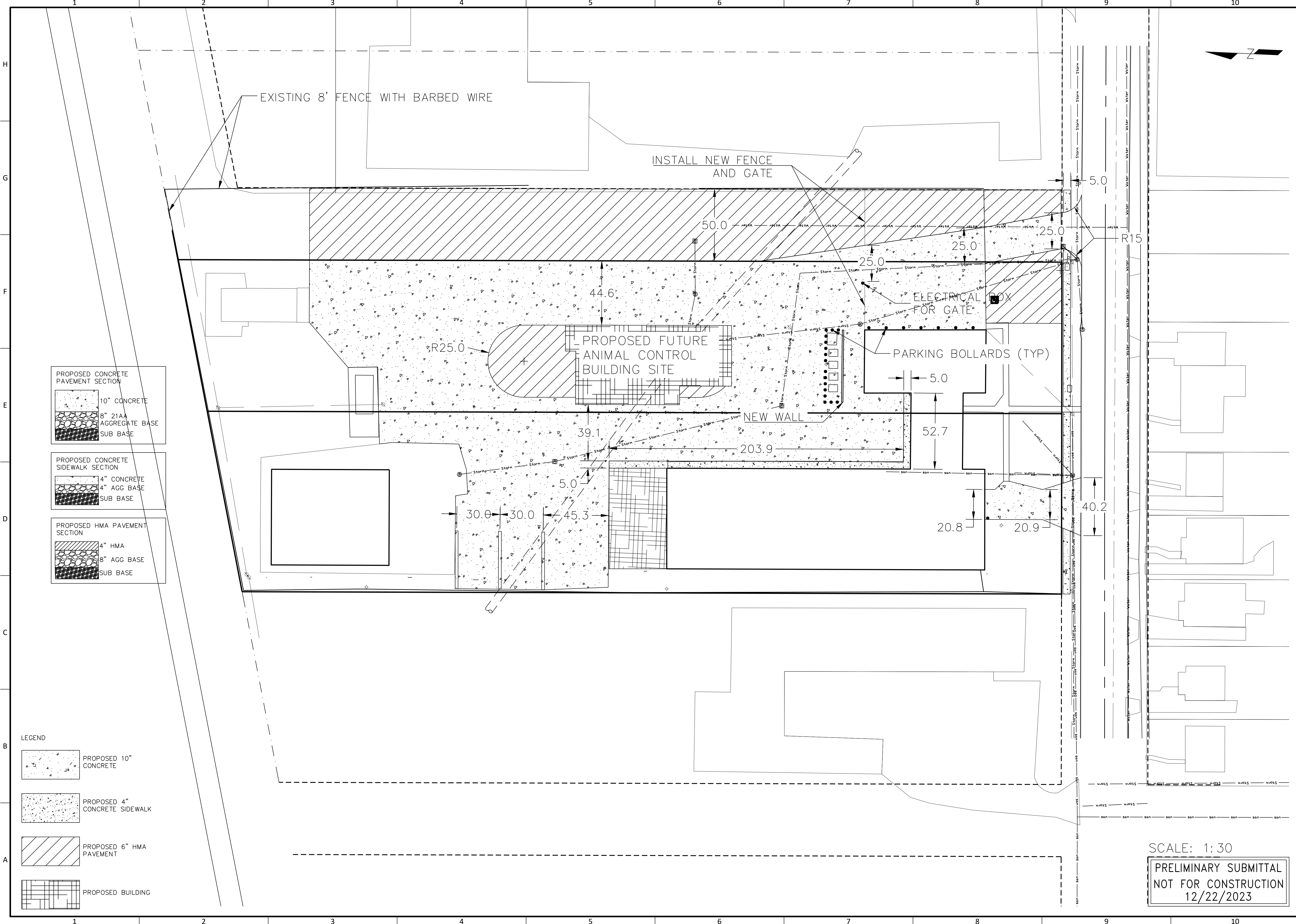
DEPARTMENT OF PUBLIC SERVICES
BUILDING RENOVATION
26900 PRINCETON STREET
CONTACT: LA-TORIA TRIPLETT

benesch

REGISTERED PROFESSIONAL ENGINEER
EXPIRES: 12/31/2024
RENEWED: 12/31/2023
CHECKED BY: []
DESIGNED BY: []

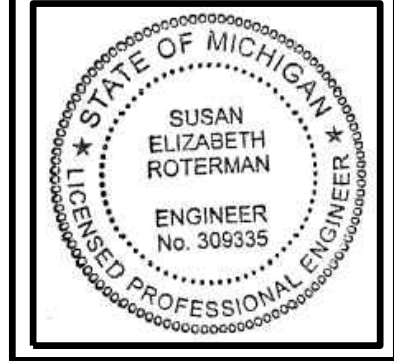
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DATE: 11/13/23
NAME: DPS YARD
SHEET NO.:

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SCALE: 1:30
PRELIMINARY SUBMITTAL
 NOT FOR CONSTRUCTION
 12/22/2023

NO.	REVISIONS	DATE



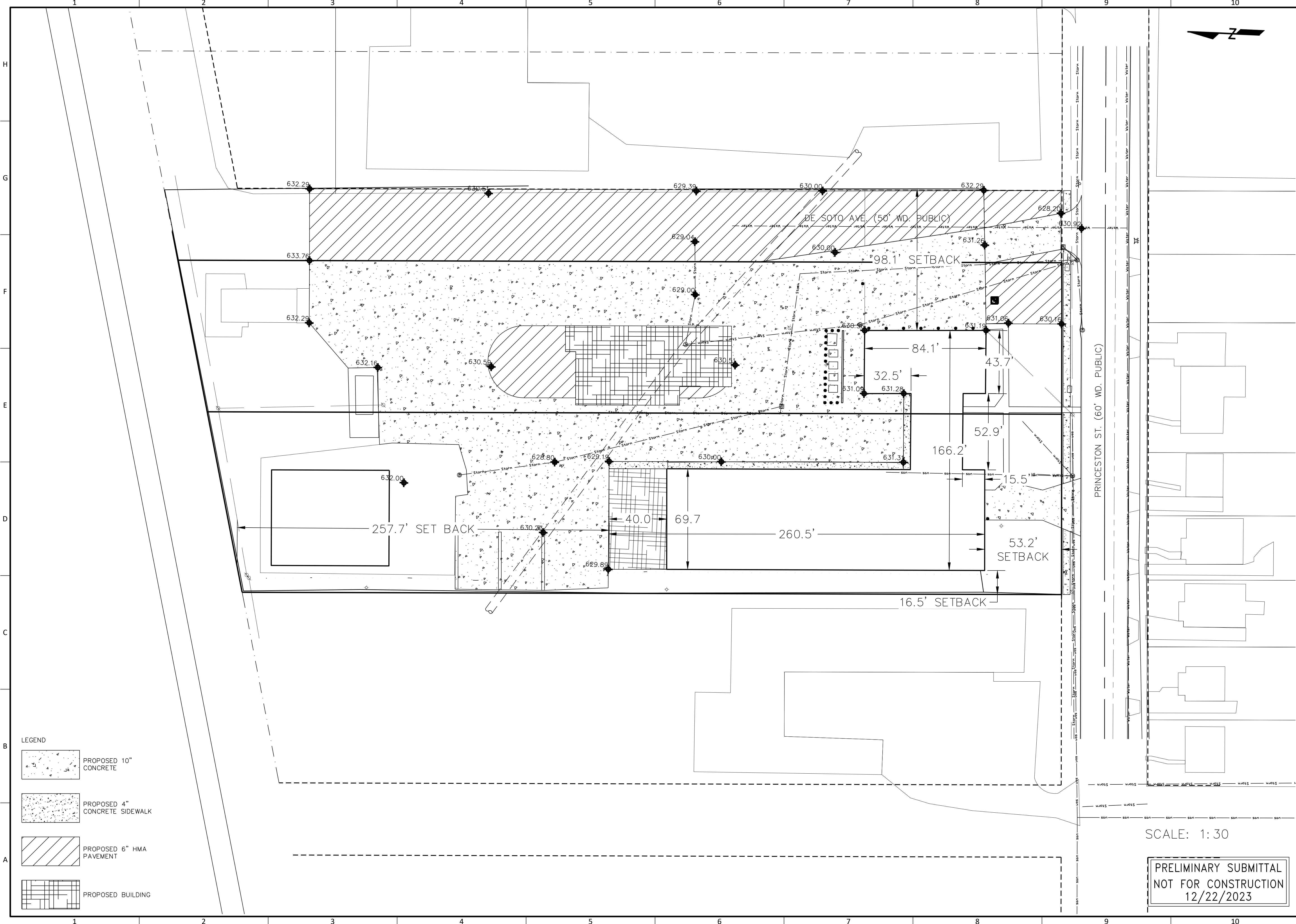
PROPOSED SURFACING

DEPARTMENT OF PUBLIC SERVICES
BUILDING RENOVATION
 26900 PRINCETON STREET
 CONTACT: LA-TORIA TRIPLETT

DESIGNED BY: _____
 CHECKED BY: _____
 REVIEWED BY: _____
 QUANTITIES CHECKED BY: _____

JOB NUMBER 40075.05	SHEET NO.
DATE 11/13/23	NAME DPS YARD

File Location: Y:\Michigan\40075.05_F12023-24_Mich_Eng\Eng_Docs_Tasks\DPS_Yard\CAD\0075.05_Constr.dwg [Plot Date: 1/23/2024 2:20:49 PM] [Last Saved: 1/23/2024 2:18:44 PM; Smrnczkowski]



LEGEND

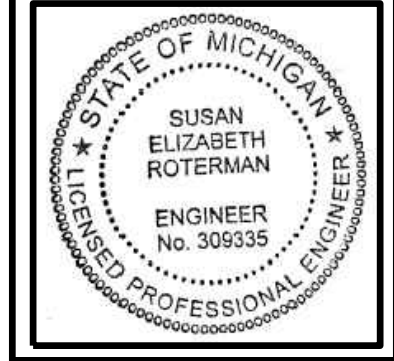
	PROPOSED 10" CONCRETE
	PROPOSED 4" CONCRETE SIDEWALK
	PROPOSED 6" HMA PAVEMENT
	PROPOSED BUILDING

SCALE: 1:30

PRELIMINARY SUBMITTAL
 NOT FOR CONSTRUCTION
 12/22/2023



NO.	REVISIONS	DATE

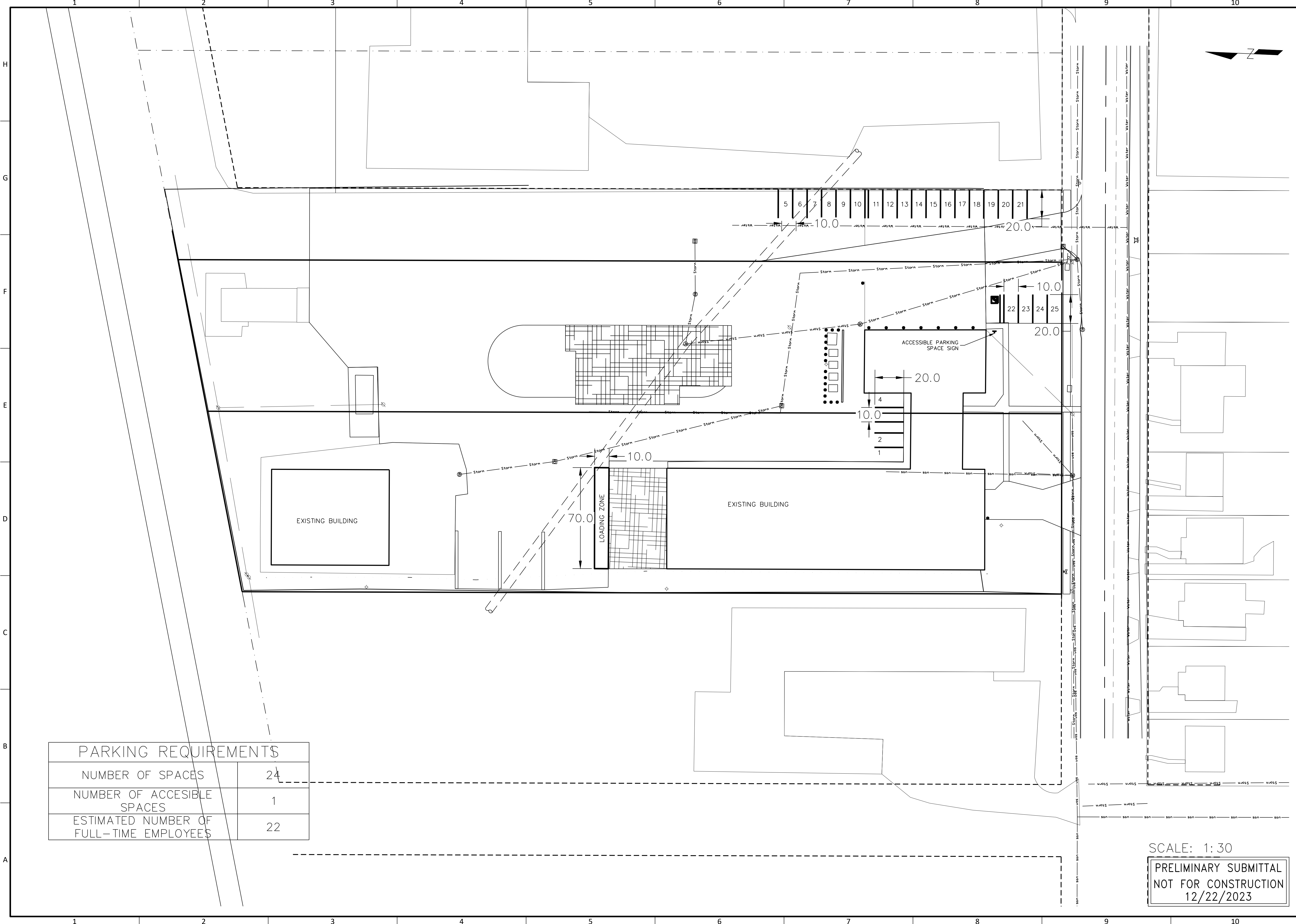


GRADING PLAN

DEPARTMENT OF PUBLIC SERVICES
 BUILDING RENOVATION
 26900 PRINCETON STREET
 CONTACT: LA-TORIA TRIPLETT

 <small>REGISTERED PROFESSIONAL ENGINEERS REFERENCED BY: CHECKED BY:</small>	<small>JOB NUMBER</small> 40075.05
	<small>DATE</small> 11/13/23
<small>NAME</small> DPS YARD	<small>SHEET NO.</small>

File Location: Y:\Michigan\40075.05_Fr2023-24_Misc_Eng\Eng_Docs_Tasks\DPS_Yard\CAD\40075.05_Constr.dwg [Plot Date: 1/23/2024 2:20:54 PM] [Last Saved: 1/23/2024 2:18:44 PM] (Smrnczkowski)



PARKING REQUIREMENTS	
NUMBER OF SPACES	24
NUMBER OF ACCESSIBLE SPACES	1
ESTIMATED NUMBER OF FULL-TIME EMPLOYEES	22

SCALE: 1:30
PRELIMINARY SUBMITTAL
NOT FOR CONSTRUCTION
 12/22/2023

NO.	REVISIONS	DATE



PROPOSED SURFACING

DEPARTMENT OF PUBLIC SERVICES
BUILDING RENOVATION
 26900 PRINCETON STREET
 CONTACT: LA-TORIA TRIPLETT

	DESIGNED BY:	REVIEWED BY:	QUANTITIES CHECKED BY:
	DRAWN BY:	CHECKED BY:	
JOB NUMBER 40075.05		DATE 11/13/23	
NAME DPS YARD		SHEET NO.	



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ARCHITECTS • ENGINEERS • CONSULTANTS

Corporate Headquarters
45650 Grand River Ave.
Novi, Michigan 48374
Ph: (248)349-4500 • Fax: (248)349-1429

Novi • Wyandotte • Muskegon
Lansing • Gaylord • Sault Ste. Marie
Williamsport, PA • Tampa, FL
www.sidockgroup.com

Key Plan:

Client:

City of Inster / DPS
26900 Princeton Street
Inkster, MI 48141

Project:

DPS Building
Renovation

26900 Princeton Street
Inkster, MI 48141

Seal:

Date: 12-22-2023 Issued For: SITE PLAN REVIEW

Drawn: WAD / NLC
Checked: WAD
Approved: SP

Sheet Title:
**OVERALL
FLOOR PLAN**

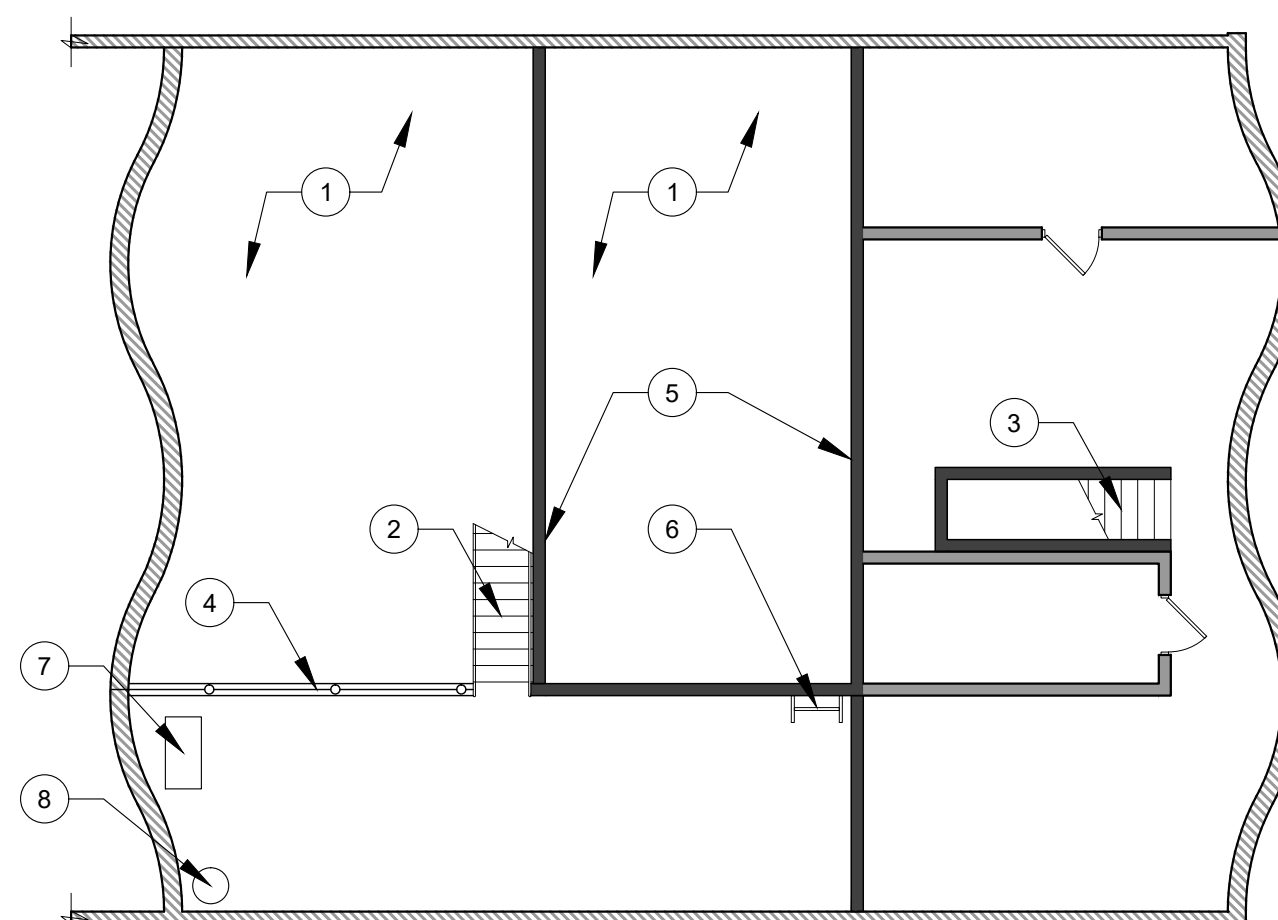
Project Number: 23059

Sheet Number: **A-1**

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MEZZANINE KEY NOTES:

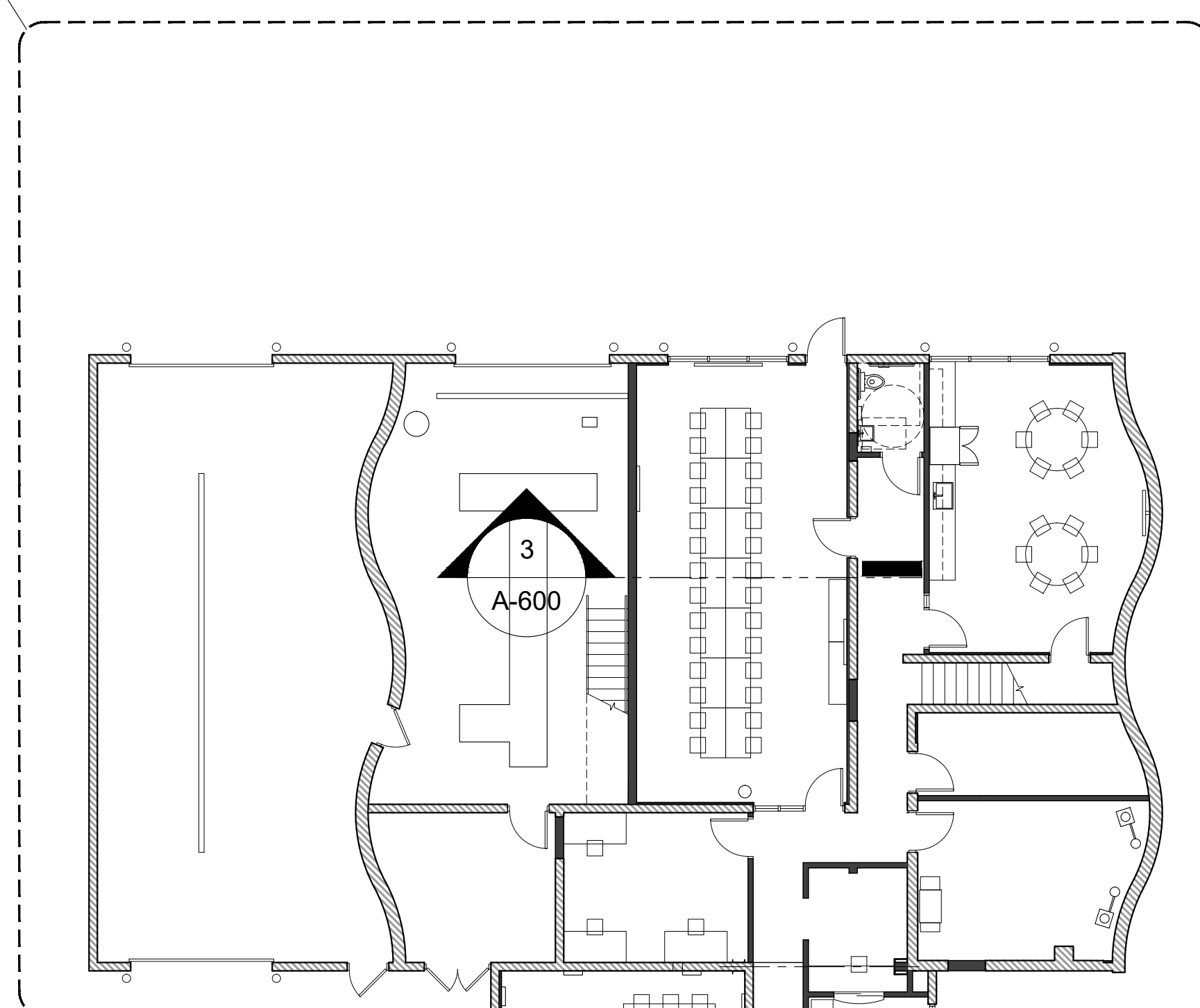
- 1 OPEN TO BELOW
- 2 NEW STAIRCASE
- 3 EXISTING STAIRCASE
- 4 NEW STEEL GUARDRAIL
- 5 NEW WALL
- 6 EXISTING ROOF ACCESS LADDER & HATCH ABOVE
- 7 EXISTING COMPRESSOR
- 8 EXISTING HOT WATER HEATER



MEZZANINE PLAN
SCALE: 3/32" = 1'-0"

1
A-2

4
A-5



1
A-4

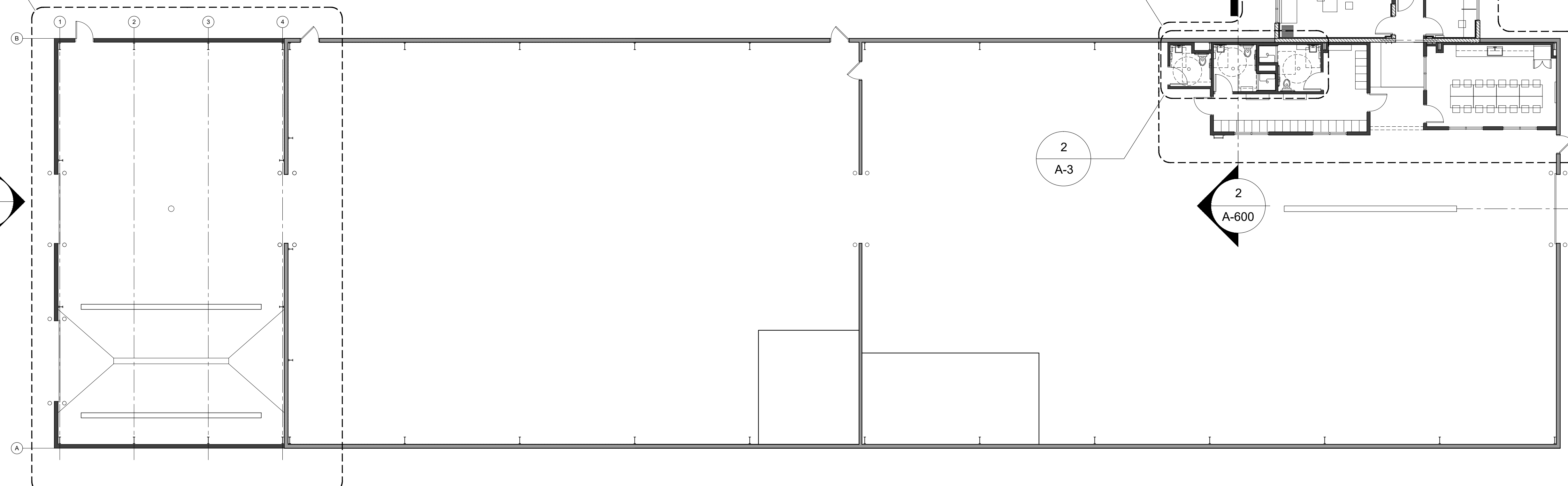
1
A-5

2
A-5

1
A-3

2
A-3

2
A-600



3
A-5



OVERALL FIRST FLOOR PLAN
SCALE: 3/32" = 1'-0"



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Williamsport, PA • Tampa, FL

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Key Plan:

LEGEND:

	ELEVATION SYMBOL
	BUILDING SECTION SYMBOL
	PLAN DETAIL SYMBOL
	KEY NOTE
	WALL TYPE SYMBOL (SEE WALL TYPES SHEET A-5xx)
	NEW DOOR TAG (SEE DOOR TYPES SHEET A-5xx)
	EXISTING WALL
	NEW WALL
	NOT IN CONTRACT NO WORK IN THIS ROOM
	NEW DOOR
	EXISTING DOOR

GENERAL NOTES:

A. ALL FLOOR PLANS NOTES LISTED BELOW MAY NOT BE UTILIZED WITHIN THIS DRAWING SHEET.

FLOOR PLAN NOTES:

- 1 NEW BUILDING ADDITION THIS SIDE
- 2 EXISTING BUILDING THIS SIDE
- 3 NEW WALL
- 4 NEW STRUCTURAL COLUMN
- 5 NEW MILLWORK
- 6 NEW 'STOREFRONT' WINDOW
- 7 NEW INTERIOR WINDOW
- 8 NEW SERVICE WINDOW PASS THROUGH
- 9 NEW MAN DOOR
- 10 NEW OVERHEAD DOOR
- 11 NEW FOLDING CLOSET DOOR
- 12 NEW SINK
- 13 NEW TOILET
- 14 NEW TOILET PARTITION
- 15 NEW PREFAB SHOWER WITH ADA COMPLIANT BENCH
- 16 NEW MIRROR
- 17 NEW PAPER TOWEL DISPENSER / HAND DRYER
- 18 NEW SOAP DISPENSER
- 19 NEW TOILET PAPER DISPENSER
- 20 NEW GRAB BARS
- 21 NEW STAIR
- 22 NEW FLOOR DRAIN
- 23 NEW TRENCH DRAIN
- 24 NEW SLOPED CONCRETE FLOOR
- 25 NEW CONCRETE FLOOR
- 26 NEW PARKING SPACE
- 27 NEW BOLLARD
- 28 NEW SANITARY NAPKIN DISPOSAL
- 29 NEW 10' HIGH CONCRETE BLOCK WALL
- 30 NEW SLOPED FLOOR TO ACCOMMODATE CHANGE IN ELEVATION
- 31 ELECTRICAL PANELS
- 32 WATER METER
- 33 GAS METER
- 34 BUILT-IN STORAGE CABINETS
- 35 NEW METAL LOCKERS
- 36 EXISTING HVAC RETURN AIR GRILLE
- 37 EXISTING WINDOW
- 38 MOVEABLE BENCH
- 39 EXISTING BOLLARD
- 40 NEW WALL MOUNTED ACCESS LADDER WITH WALK-THROUGH RAILS
- 41 RELOCATED OVERHEAD DOOR
- 42 EXISTING VERTICAL SUPPLY DUCT SHAFT
- 43 NEW 50" TV
- 44 NEW 75" TV
- 45 NEW STRUCTURAL LINTEL. SEE SHEET A-800 FOR DETAILS

Client:

City of Inster / DPS
26900 Princeton Street
Inkster, MI 48141

Project:

DPS Building
Renovation

26900 Princeton Street
Inkster, MI 48141

Seal:

Date: 12-22-2023 Issued For: SITE PLAN REVIEW

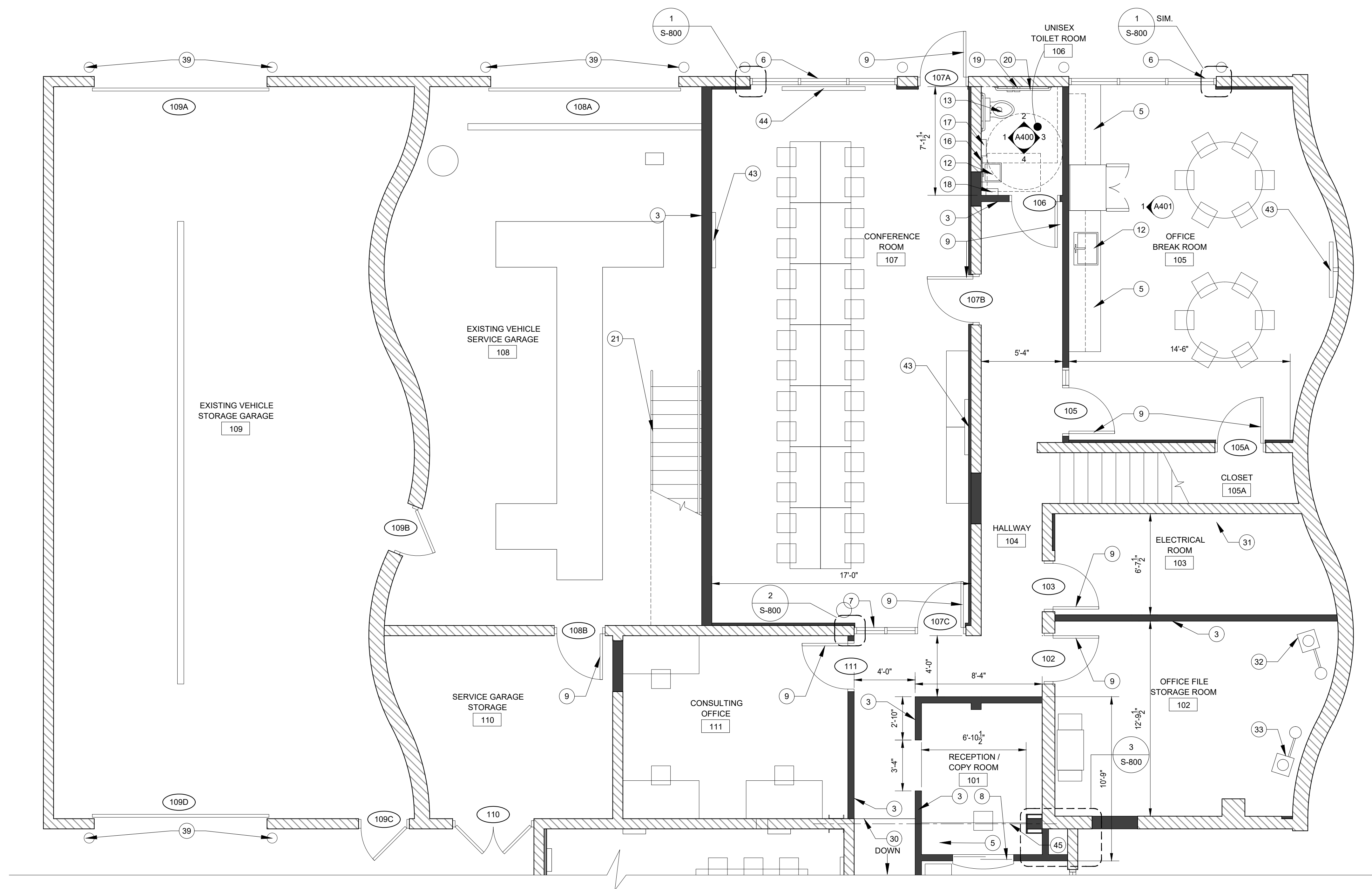
Drawn: WAD / NLC
Checked: WAD
Approved: SP

Sheet Title:
**ENLARGED
FLOOR PLAN**

Project Number: 23059

Sheet Number: A-2

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ENLARGED FLOOR PLAN
SCALE: 1/4" = 1'-0"



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Novi • Wyandotte • Muskegon
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Key Plan:

Client:

City of Inster / DPS
26900 Princeton Street
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Project:

DPS Building
Renovation

26900 Princeton Street
Inkster, MI 48141

Seal:

Date: 12-22-2023 Issued For: SITE PLAN REVIEW

Drawn: WAD / NLC
Checked: WAD
Approved: SP

Sheet Title:
ENLARGED
FLOOR PLAN

Project Number: 23059

Sheet Number: A-3

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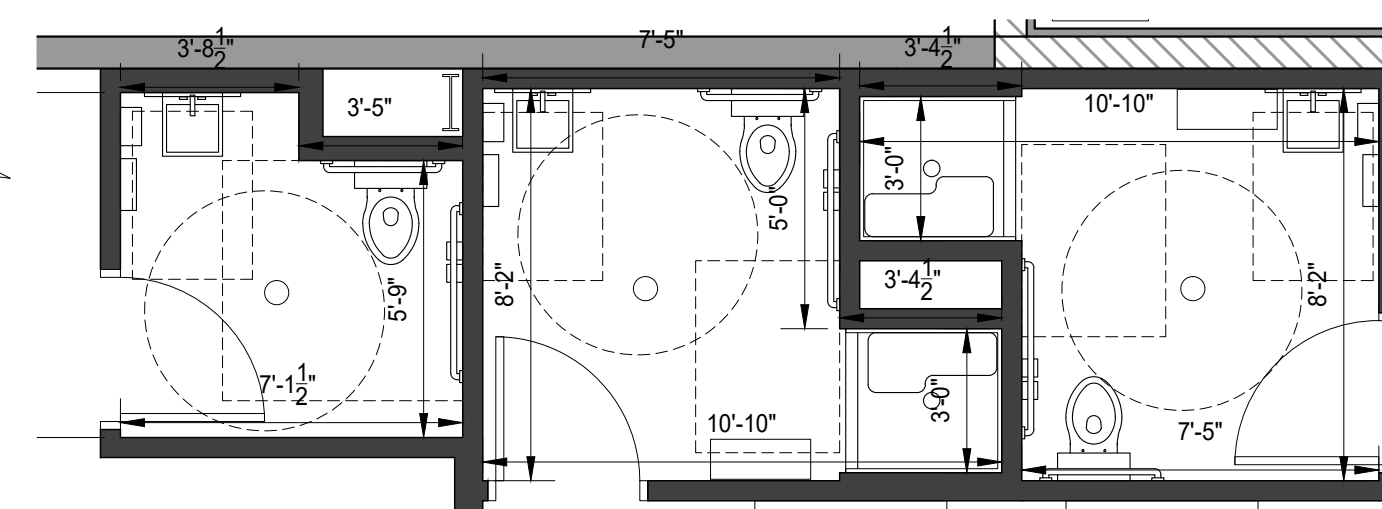
	ELEVATION SYMBOL
	BUILDING SECTION SYMBOL
	PLAN DETAIL SYMBOL
	KEY NOTE
	WALL TYPE SYMBOL (SEE WALL TYPES SHEET A-5xx)
	NEW DOOR TAG (SEE DOOR TYPES SHEET A-5xx)
	EXISTING WALL
	NEW WALL
	N.I.C. NOT IN CONTRACT NO WORK IN THIS ROOM
	NEW DOOR
	EXISTING DOOR

GENERAL NOTES:

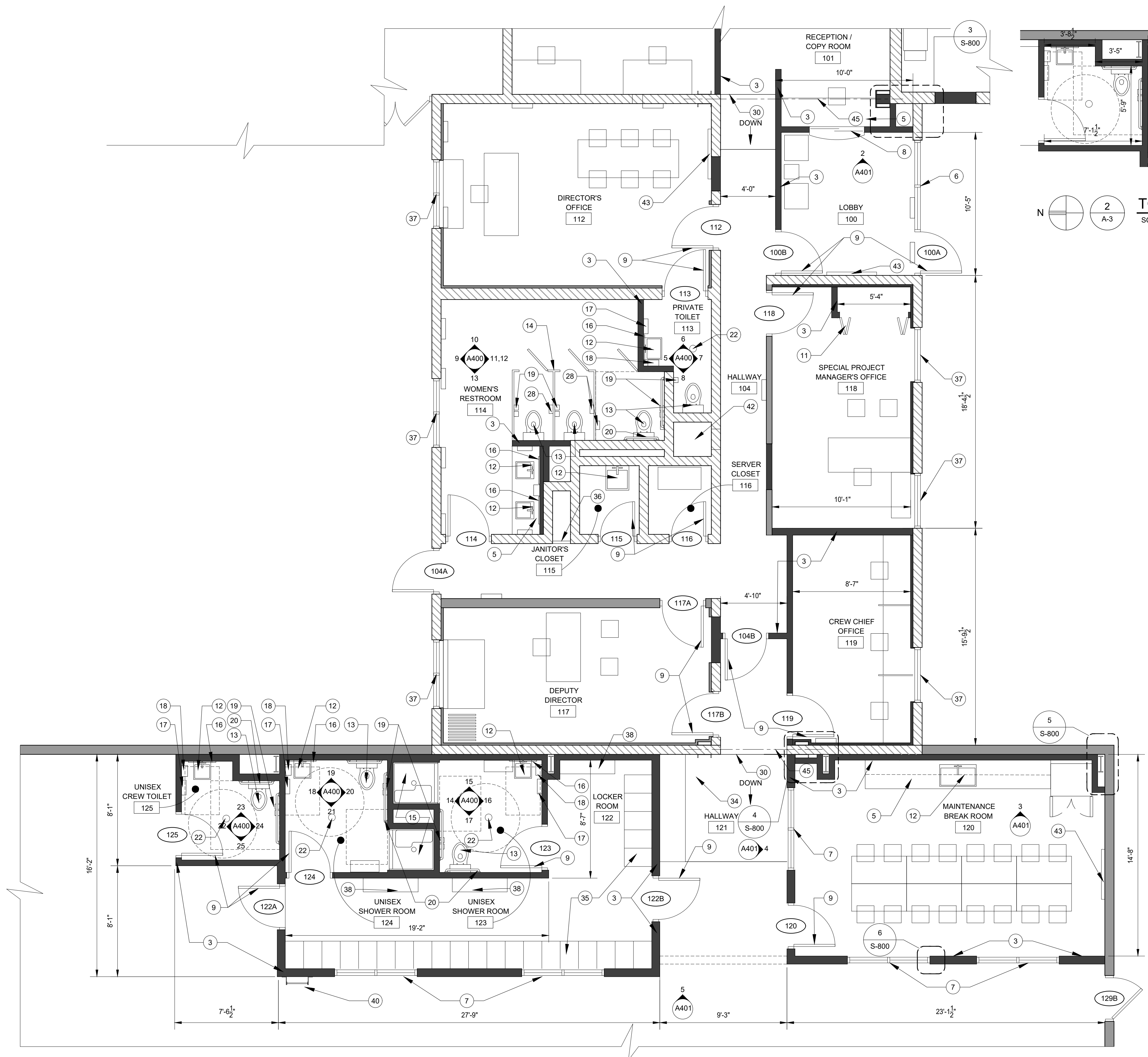
A. ALL FLOOR PLANS NOTES LISTED BELOW MAY NOT BE UTILIZED WITHIN THIS DRAWING SHEET.

FLOOR PLAN NOTES:

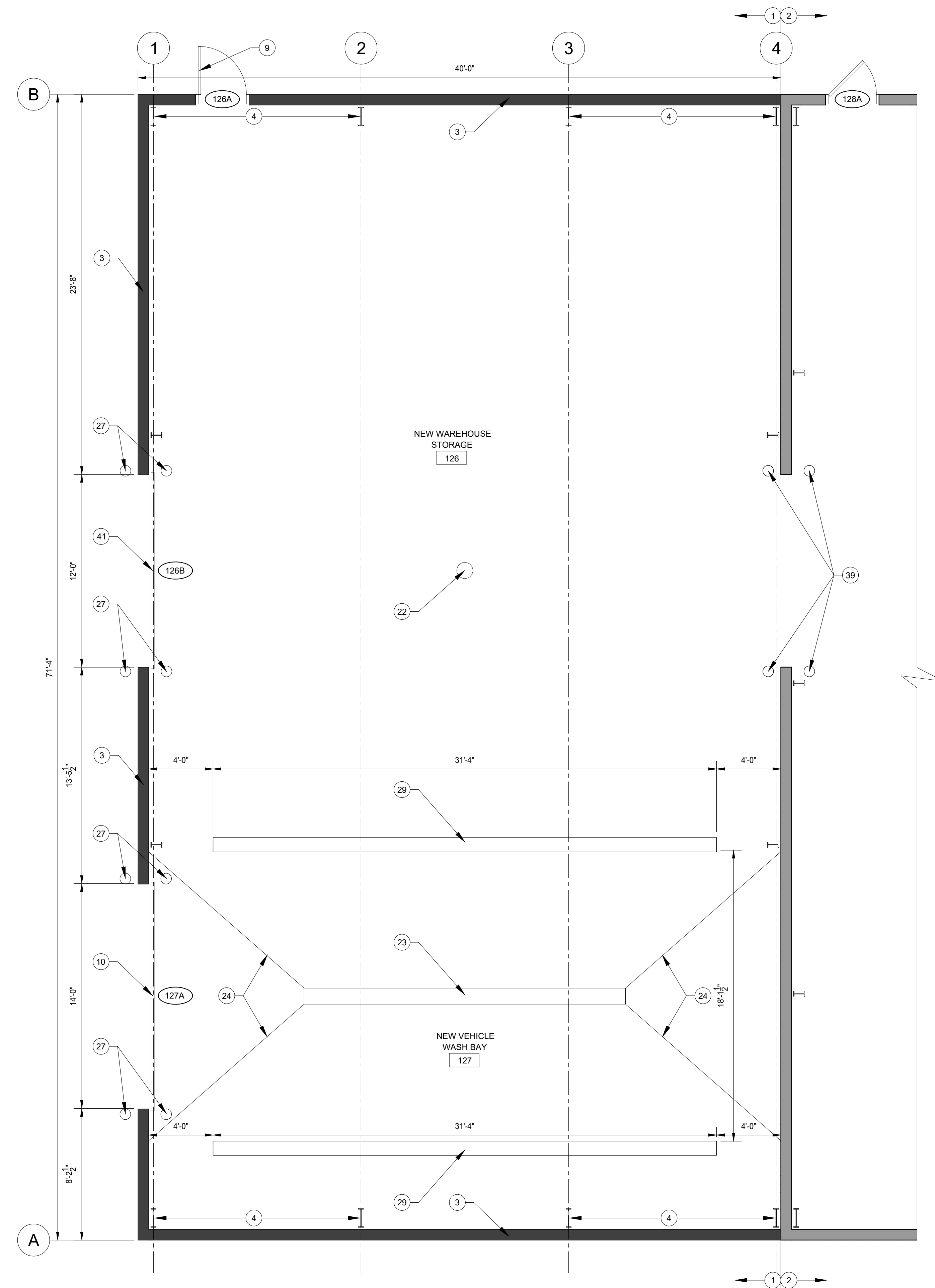
- 1 NEW BUILDING ADDITION THIS SIDE
- 2 EXISTING BUILDING THIS SIDE
- 3 NEW WALL
- 4 NEW STRUCTURAL COLUMN
- 5 NEW MILLWORK
- 6 NEW 'STOREFRONT' WINDOW
- 7 NEW INTERIOR WINDOW
- 8 NEW SERVICE WINDOW PASS THROUGH
- 9 NEW MAN DOOR
- 10 NEW OVERHEAD DOOR
- 11 NEW FOLDING CLOSET DOOR
- 12 NEW SINK
- 13 NEW TOILET
- 14 NEW TOILET PARTITION
- 15 NEW PREFAB SHOWER WITH ADA COMPLIANT BENCH
- 16 NEW MIRROR
- 17 NEW PAPER TOWEL DISPENSER / HAND DRYER
- 18 NEW SOAP DISPENSER
- 19 NEW TOILET PAPER DISPENSER
- 20 NEW GRAB BARS
- 21 NEW STAIR
- 22 NEW FLOOR DRAIN
- 23 NEW TRENCH DRAIN
- 24 NEW SLOPED CONCRETE FLOOR
- 25 NEW CONCRETE FLOOR
- 26 NEW PARKING SPACE
- 27 NEW BOLLARD
- 28 NEW SANITARY NAPKIN DISPOSAL
- 29 NEW 10' HIGH CONCRETE BLOCK WALL
- 30 NEW SLOPED FLOOR TO ACCOMMODATE CHANGE IN ELEVATION
- 31 ELECTRICAL PANELS
- 32 WATER METER
- 33 GAS METER
- 34 BUILT-IN STORAGE CABINETS
- 35 NEW METAL LOCKERS
- 36 EXISTING HVAC RETURN AIR GRILLE
- 37 EXISTING WINDOW
- 38 MOVEABLE BENCH
- 39 EXISTING BOLLARD
- 40 NEW WALL MOUNTED ACCESS LADDER WITH WALK-THROUGH RAILS
- 41 RELOCATED OVERHEAD DOOR
- 42 EXISTING VERTICAL SUPPLY DUCT SHAFT
- 43 NEW 50" TV
- 44 NEW 75" TV
- 45 NEW STRUCTURAL LINTEL. SEE SHEET A-800 FOR DETAILS



TOILET ROOM DIMENSIONS
SCALE: 1/4" = 1'-0"



1 ENLARGED FLOOR PLAN
SCALE: 1/4" = 1'-0"



1
A-4

ENLARGED FLOOR PLAN

SCALE: 1/4" = 1'-0"

LEGEND:	
	ELEVATION SYMBOL
	BUILDING SECTION SYMBOL
	PLAN DETAIL SYMBOL
	KEY NOTE
	WALL TYPE SYMBOL (SEE WALL TYPES SHEET A-5xx)
	NEW DOOR TAG (SEE DOOR TYPES SHEET A-5xx)
	EXISTING WALL
	NEW WALL
	NOT IN CONTRACT NO WORK IN THIS ROOM
	NEW DOOR
	EXISTING DOOR

GENERAL NOTES:

A. ALL FLOOR PLANS NOTES LISTED BELOW MAY NOT BE UTILIZED WITHIN THIS DRAWING SHEET.

FLOOR PLAN NOTES:

- 1 NEW BUILDING ADDITION THIS SIDE
- 2 EXISTING BUILDING THIS SIDE
- 3 NEW WALL
- 4 NEW STRUCTURAL COLUMN
- 5 NEW MILLWORK
- 6 NEW 'STOREFRONT' WINDOW
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- 17 NEW PAPER TOWEL DISPENSER / HAND DRYER
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- 38 MOVEABLE BENCH
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- 42 EXISTING VERTICAL SUPPLY DUCT SHAFT
- 43 NEW 50" TV
- 44 NEW 75" TV
- 45 NEW STRUCTURAL LINTEL. SEE SHEET A-800 FOR DETAILS

Key Plan:

Client:
 City of Inster / DPS
 26900 Princeton Street
 Inkster, MI 48141

Project:
**DPS Building
 Renovation**

26900 Princeton Street
 Inkster, MI 48141

Seal:

Date: 12-22-2023 Issued For: SITE PLAN REVIEW

Drawn: WAD / NLC
 Checked: WAD
 Approved: SP

Sheet Title:
**ENLARGED
 FLOOR PLAN**

Project Number: **23059**

Sheet Number: **A-4**

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Lansing • Gaylord • Sault Ste. Marie
Williamsport, PA • Tampa, FL
www.sidockgroup.com

Key Plan:

Client:

City of Inster / DPS
26900 Princeton Street
Inkster, MI 48141

Project:

DPS Building
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26900 Princeton Street
Inkster, MI 48141

Seal:

Date: 12-22-2023 Issued For: SITE PLAN REVIEW

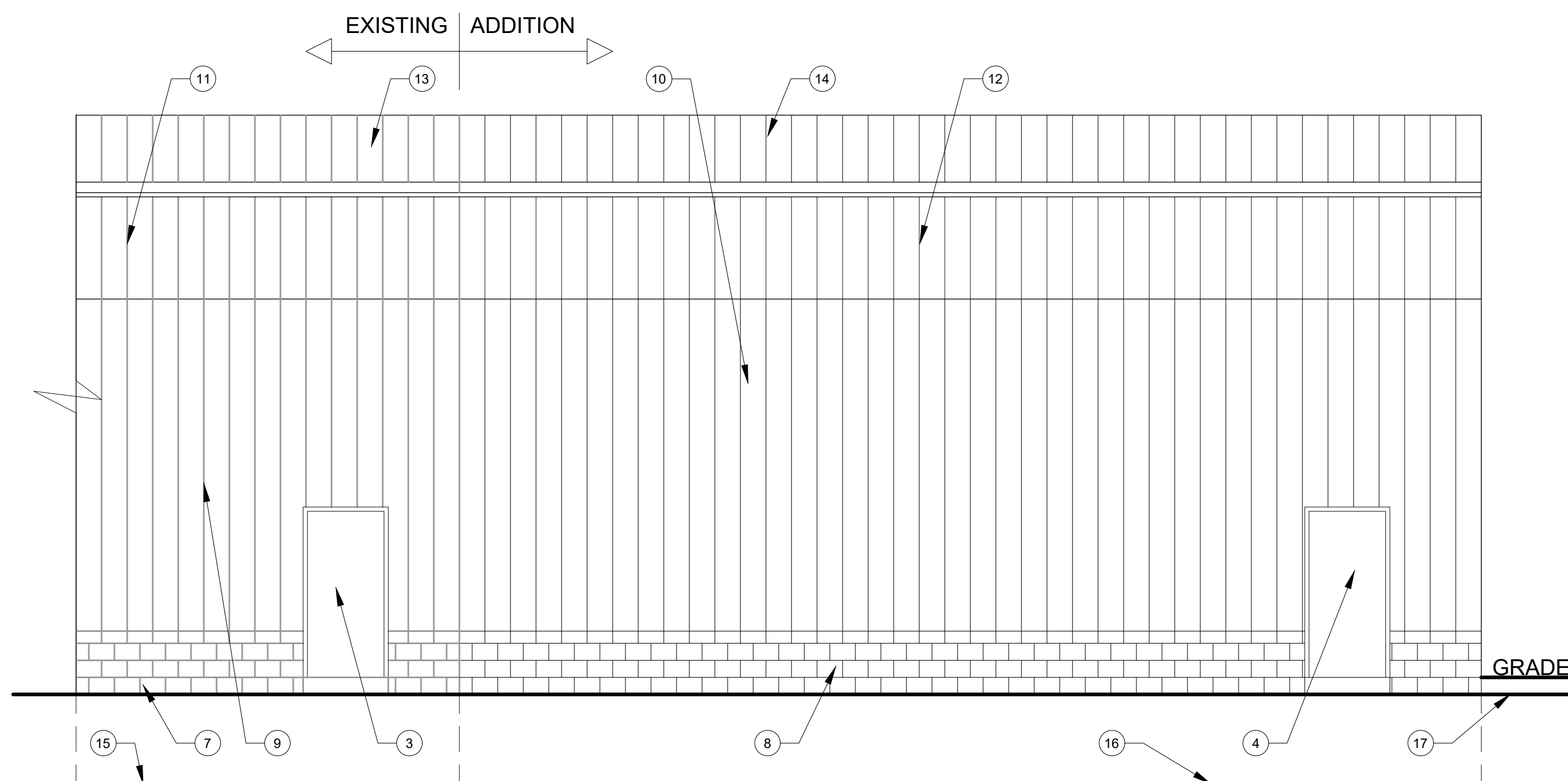
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Checked: WAD
Approved: SP

Sheet Title:
EXTERIOR ELEVATIONS

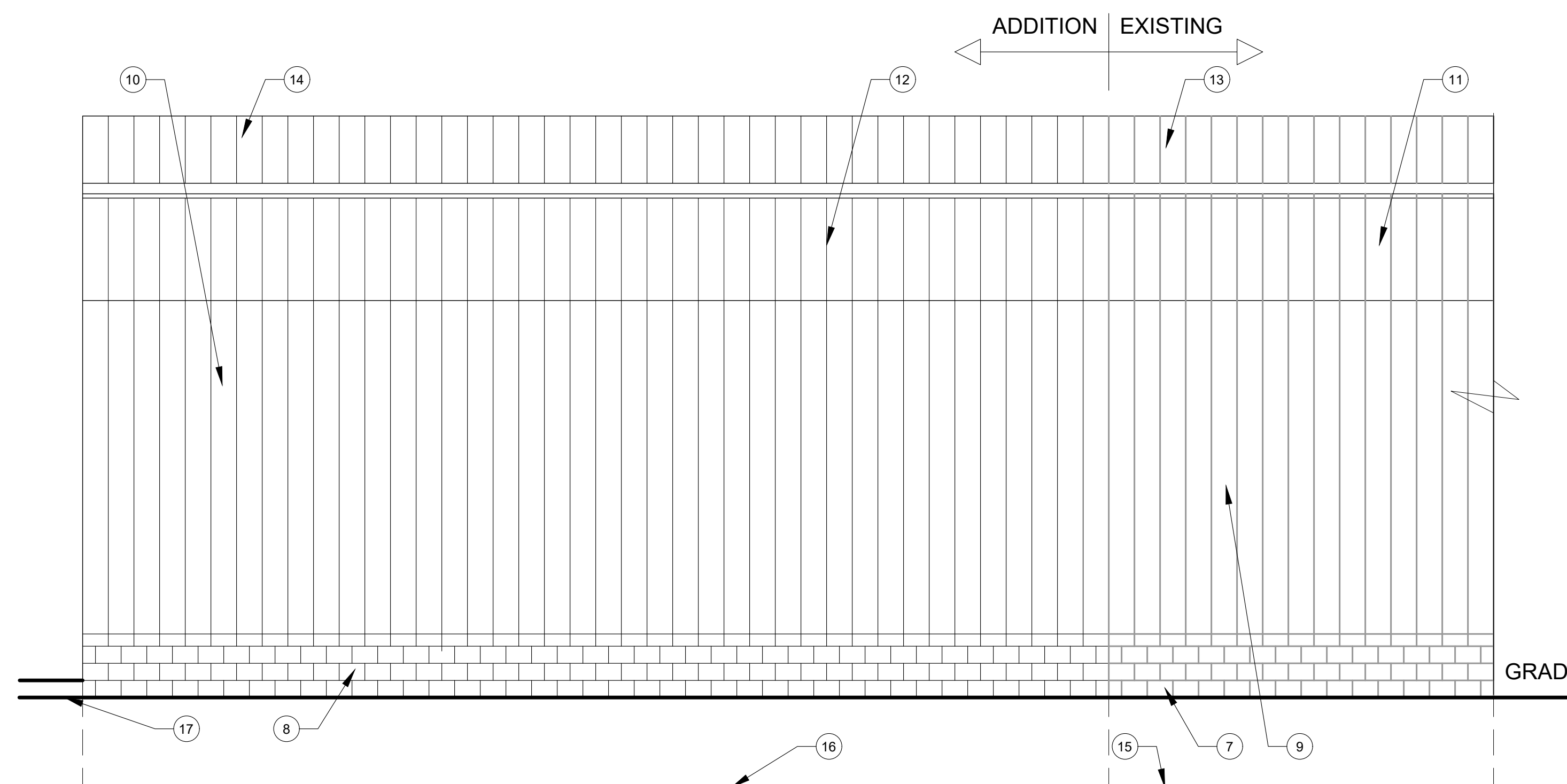
Project Number: 23059

Sheet Number: **A-5**

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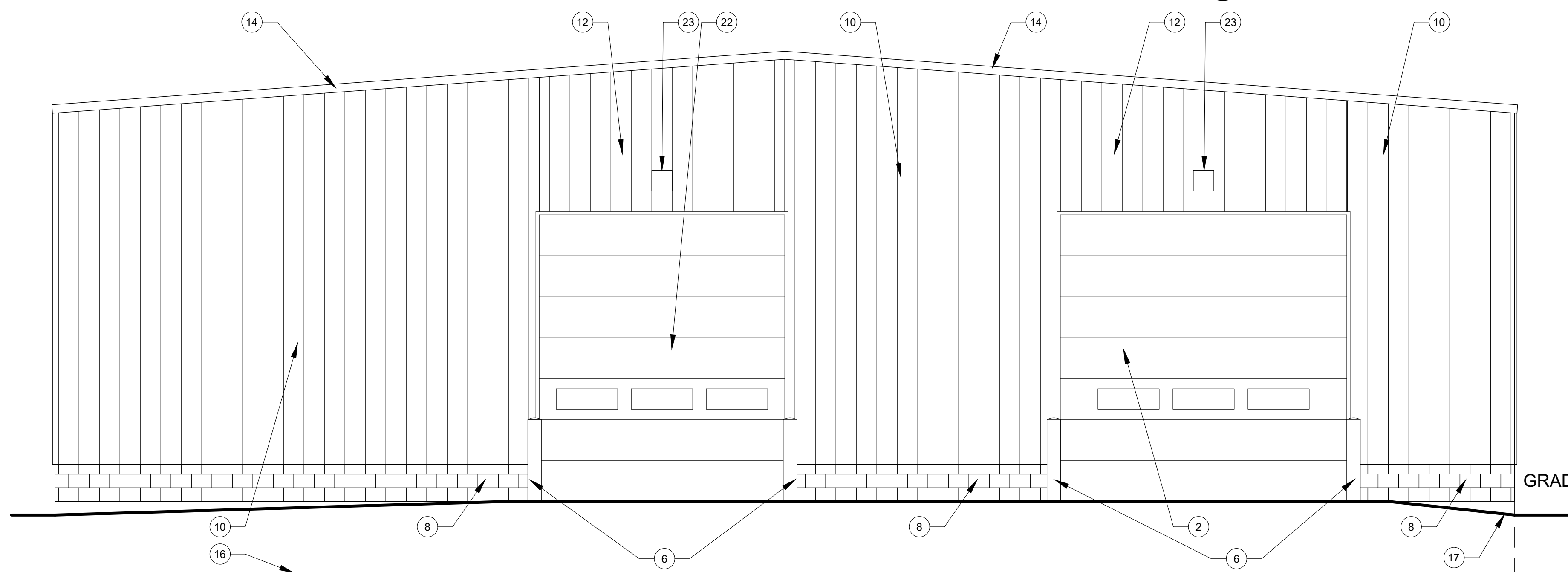
1
A-5
EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



3
A-5
EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

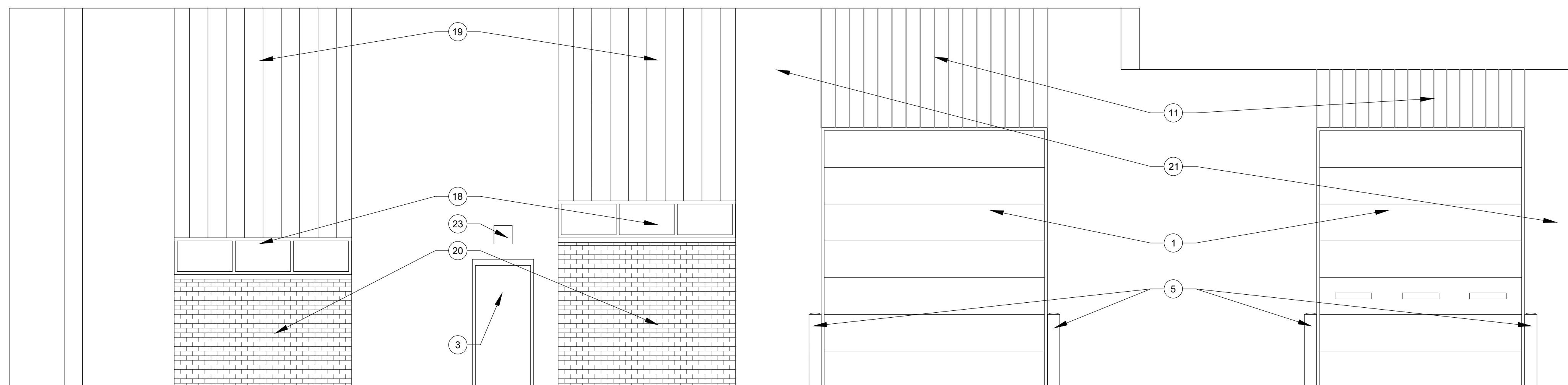
- A. ALL ELEVATION NOTES LISTED BELOW MAY NOT BE UTILIZED WITHIN THIS DRAWING SHEET.
- B. NEW EXTERIOR MATERIAL TYPES AND COLORS WILL MATCH THOSE OF THE EXISTING BUILDING.



2
A-5
EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION NOTES:

- 1 EXISTING OVERHEAD DOOR
- 2 NEW OVERHEAD DOOR
- 3 EXISTING MAN DOOR
- 4 NEW MAN DOOR
- 5 EXISTING BOLLARD
- 6 NEW BOLLARD
- 7 EXISTING MASONRY
- 8 NEW MASONRY
- 9 EXISTING METAL SIDING
- 10 NEW METAL SIDING
- 11 EXISTING TRANSLUCENT PANEL
- 12 NEW TRANSLUCENT PANEL
- 13 EXISTING ROOF
- 14 NEW ROOF
- 15 LINE OF EXISTING FOOTING
- 16 LINE OF NEW FOOTING
- 17 GRADE LINE
- 18 NEW WINDOWS
- 19 NEW PRE-FINISHED METAL PANEL
- 20 NEW BRICK INFILL
- 21 EXISTING EXTERIOR MATERIALS MODIFICATIONS TBD
- 22 RELOCATED OVERHEAD DOOR
- 23 LIGHT FIXTURE



4
A-5
EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



MCKENNA

January 24, 2024

City of Inkster
26215 Trowbridge
Inkster, MI 48141

Subject: Site Plan Review: Department of Public Services Building Renovations
Location: 26900 Princeton Avenue
Zoning: M-1, Light Industrial
Applicant(s): La-Troia Triplette
Owner(s): Inkster Department of Public Services

Dear Commissioners,

The City of Inkster Planning Department has reviewed the above-referenced Site Plan amendment application for the Inkster Department of Public Services building.

The applicant proposes site enhancements including expansion of the main building in the rear from 21,650 sq ft to 24,503 sq ft, two buildings on site to be demolished, replacement of front yard fence, and new pavement. As well as a proposed future animal control building to be built on site.



Subject site



To be demolished

HEADQUARTERS
235 East Main Street
Suite 105
Northville, Michigan 48167

☎ 248.596.0920
☎ 248.596.0930
MCKA.COM

Communities for real life.



RECOMMENDATIONS

Site Plan Consideration. The following items are a list of requirements that can be reviewed administratively: Outstanding items are indicated with an underline throughout the letter and are listed below for convenience:

1. *Clarify the illumination and height standards set forth by the Zoning Ordinance are met;*
2. *A security plan needs to be provided and will need to be reviewed by the City Police Chief;*
3. *The site plan is subject to the review from the City Engineering, Fire Department, Police Department, and Wayne County Road Commission.*

Respectfully submitted,

McKENNA

Jane Dixon, AICP, NCI
Senior Planner

Alicia Warren
Assistant Planner



Site Plan Review

Standards for Site Plan Approval are set forth by [Section 155.287](#). This project is reviewed against the City's [Zoning Ordinance](#), [Master Plan](#), existing site conditions, and sound planning and design principles. We offer the following comments for your consideration; underlined items require additional discussion and/or identify outstanding items to be addressed.

1. ZONING AND USE (§155.046)

Findings. The M-1 Light Industrial District intends to provide locations for planned industrial development, including planned industrial park subdivisions. Permitted activities or operations shall produce no external impacts that are detrimental in any way to other uses in the district or to properties in adjoining districts. Accordingly, light industrial, research, and related office uses permitted in this district should be fully contained within well-designed buildings on amply landscaped sites, with adequate off-street parking and loading areas, and with no outside storage. The current and future use being proposed on site matches the intent of the M-1 district.

The site is approximately 3.1-acres and is located on the north side of Princeton Street between Sylvia Street and Princess Avenue. The site houses the City of Inkster's Department of Public Services.

The following chart provides information on existing land use and current zoning of the subject site and surrounding uses.

Location	Existing Land Use	Zoning District
Subject Site	Industrial	M-1, Light Industrial
North	Industrial	M-1, Light Industrial
South	Single family residential	R-1C, One Family Residential District
East	Industrial	M-1, Light Industrial
West	Industrial	M-1, Light Industrial

2. DIMENSIONAL STANDARDS (§155.061)

Site elements and the relationship between the various uses on the site shall be designed and located so that the proposed development is aesthetically pleasing and harmonious with adjacent existing and prospective development of contiguous properties and the general planning area. Buildings and structures will meet or exceed setback standards, build-to lines, height and other dimensional standards, and placed to preserve environmentally sensitive areas.



Finding. The following chart provides the dimensional requirements for the M-1, Light Industrial District. An addition is being proposed to the back of the main building of approximately 2,788 sq ft.

Dimensional Requirements (\$155.061):	Required	Proposed
Front Setback	60 Feet	No proposed change
Rear Setback	N/A	257.7 ft
Side Yard Setback (Both)	40 Feet	No proposed change
Side Yard Setback (One)	20 Feet	No proposed change
Lot Size	Based on off-street parking, loading, greenbelt screening, and setbacks.	*
Lot Coverage	Based on off-street parking, loading, greenbelt screening, and setbacks.	*
Height	40 Feet	No proposed change

* The minimum lot area and width, and the maximum percent of building coverage shall be determined on the basis of required off-street parking, loading, greenbelt screening, and yard setbacks as provided herein for the respective uses and use districts.

3. ARCHITECTURAL FEATURES (\$155.072)

Building design and architecture shall relate to and be harmonious with the surrounding neighborhood in terms of texture, scale, mass, proportion, materials, and color.

Findings: The addition will match the existing building materials and colors.

4. IMPACT ON PUBLIC SERVICES

Utility services, including sanitary, water and storm runoff, shall not exceed the existing or planned capacity of such services, and shall be developed in the best interest of the public health, safety and welfare of the community. The proposed development shall be designed and located so that public services, including streets and sidewalks, police and fire protection, and public schools have sufficient capacity to properly serve the development, and so that such services will not be adversely affected by the proposed development.

Findings: This item is subject to approval by the City Engineer, City Fire Chief, and City Police Chief.

5. VEHICULAR ACCESS & CIRCULATION

The vehicular circulation system planned for the proposed development shall be in the best interest of the public health, safety, and welfare in regard to on site circulation, onsite parking, the overall circulation of the neighborhood and community, egress/ingress to the site, vehicular turning movements related to parking areas, loading areas, street intersections, street gradient, site distance and potential hazards to the normal flow of traffic both on and off site.



Findings. On site vehicular access and circulation is not proposed to change. The applicant is proposing to resurface the site. Further analysis of vehicular circulation is subject to the review of the City Engineer and Wayne County Road Commission.

For more information on Parking and Loading standards, see section below.

6. PEDESTRIAN ACCESS & CIRCULATION

The pedestrian circulation system planned for the proposed development shall be in the best interest of the public health, safety and welfare in regards to on site circulation and the overall pedestrian circulation of the neighborhood and community.

Findings: No additional sidewalks are proposed on the site. There are existing sidewalks along the southern property line abutting Princeton Avenue.

7. EMERGENCY ACCESS & VULNERABILITY TO HAZARDS

All sites and buildings shall be designed to allow convenient and direct emergency access, and the emergency response needs of the proposed use(s) shall not exceed the City's emergency response capabilities.

Findings: This item is subject to approval by the City Engineer and City Fire Chief.

8. LANDSCAPING (§155.073)

The subject site has an existing established parking lot. No development of land for parking lot purposes is proposed at this time. No new site landscaping is proposed at this time. The following provisions of the Landscaping Ordinance shall apply.

Findings. (§155.073.D.11) *Landscaping of yards in nonresidential districts.* Any portion of a front, side or rear yard not utilized for storage, parking, loading or unloading in a zoning district other R-1A, R-1B, R-1C, RM, or RM-1, shall be planted and maintained in a neat condition. A minimum of one tree per 3,000 square feet of planted yard area shall be provided, in addition to any other landscaping requirements of this section.

(§155.073.D.13) *Right-of-way landscaping (subject to the following)* Deciduous shade trees planted at a minimum concentration of one street tree per 35 linear feet of right-of-way. Required trees may be planted at regular intervals or in groupings.

One ornamental tree shall be planted for every 75 lineal feet of right-of-way frontage. Ornamental trees may be clustered or planted at regular intervals.

9. SCREENING AND BUFFER (§155.074; 155.075)

Proposed screening and buffer areas shall be appropriate and of such size, location, height and quantity to ensure that the proposed development will not be objectionable to nearby development or properties by reason of noise, fumes, flash of lights from automobiles or other lighting, interference with an adequate supply of light and air, an increase in the danger of fire, or other public safety hazard. Screening shall be provided in a manner that adequately buffers adjacent land uses and screens off-street parking, mechanical appurtenances, loading and unloading areas and storage areas from adjacent residential areas and public rights-of-way.

Findings:



Walls. 6-foot high obscuring wall are required along property lines that abuts residential district. The property does not directly abut a residentially zoned property.

Dumpster. The site does not have a trash enclosure.

10. PARKING & LOADING (§155.077; 155.078; 155.079)

The parking pattern proposed shall be in the best interest of the public health, safety and welfare in regards to size, layout and quantity, and the location of parking and loading facilities will not be detrimental to nearby developments, properties or public streets.

Findings: Buildings between 20,001 – 100,000 square feet in the M-1 district are required to provide one space plus one space for each 20,000 square feet in excess of 20,001 square feet. The proposed building area at 26900 Princeton Avenue Drive is 24,503 square feet: based on the aforementioned ratio, a total of five (5) off-street parking spaces are required. The applicant is not proposing any change to the existing on-site parking area at this time.

Loading Zone. Per section 155.079, one loading space is required for 2,001-20,000 SF gross floor area, plus one space for each excess of 20,001 sq ft. The applicant proposes one 10 x 70 ft loading space to the north of the addition on the main building.

11. EXTERIOR LIGHTING AND SECURITY CAMERAS (§155.076)

All exterior lighting fixtures shall be designed, arranged, and shielded to minimize glare and light pollution, prevent night blindness and vision impairments, and maximize security. For all non-residential commercial and business properties, security cameras shall be installed, maintained and approved by the City Police Chief. All security cameras shall be high-definition with a minimum resolution of 1080p and night vision with at least 120 concurrent hours of digitally recorded documentation. The security cameras shall be in operation 24 hours a day, seven days a week, and shall be set to maintain the record of the prior 120 hours of continuous operation. An alarm system is required that is operated and monitored by a recognized security company. Security cameras shall be placed to cover the entire site and placement shall be approved by the City Police Chief.

Findings.

Exterior Lighting (§155.076(A)). *Lighting for uses adjacent to residentially zoned or used property shall be designed and maintained such that illumination levels do not exceed 0.1 foot-candles along property lines (§155.076.A.5).* No photometric plan was provided.

Exterior lighting. The proposed project must meet the illumination and height standards set forth by the Zoning Ordinance and listed in the table below.

The following table details the maximum allowed illumination (levels in footcandles “fc.”) per section 155.076, in comparison with that proposed on the site:



Standards	Standard	Proposed	Comments
Max. Illumination	20 fc.	Not provided	-
Max. Illumination at the Property Line			
For uses adjacent to residential (zoned or used) property	0.1 fc.	Not provided	-
For uses adjacent to non-residential property	0.3 fc.	Not provided	-
Max. Lighting Fixture Height			
For uses adjacent to residential (zoned or used) property	20 ft.	Not provided	-
For uses adjacent to non-residential property	25 ft.	Not provided	-

Security cameras. A security plan needs to be provided and will need to be reviewed by the City Police Chief. The applicant needs to provide information that security cameras will have a minimum resolution of 1080p.

January 22, 2024

Mr. Derek Dowdell, Director
City of Inkster Planning Department
26215 Trowbridge Street
Inkster, MI 48141

RE: Site Plan Review

Project Name: DPS Building Renovation
Project No.: 16498.21

Mr. Dowdell:

At your request, we are providing an engineering site plan review of the proposed building and site improvements associated with renovation of the existing Department of Public Services facility located at 26900 Princeton Street. We have reviewed the site plans prepared by Benesch and dated November 13, 2023. Plans were reviewed against the City of Inkster Preliminary Site Plan Review Checklist and zoning ordinance as applicable and as related to site engineering items only. We offer the following comments:

General Comments

1. Plan set should include a cover sheet with a complete sheet index of all included site plans, architectural plans and elevations, photometrics and site landscaping plans as applicable. A location map is also required.
2. Plans should include sheet numbers. Two sheets are currently titled "Surfacing Plan". Revise.
3. An issue title and date should be added to all plan sheets to track revisions and changes to the plans resulting from reviews. A new issue is required for each submission to the Planning Department.
4. Label Princeton Street including existing right-of-way width on all site plan sheets. Label all other public street rights-of-way adjacent to the subject parcels (e.g. DeSoto and Sylvia)
5. Provide addresses of existing buildings on all site plan sheets as applicable. Recommend darkening existing building limits on surrounding properties for clarity.
6. Recommend that dimensions of existing parcels be indicated along the parcel lines (with applicable bearings) rather than callout dimensions. Legal description should be provided and match the plan view bearings and distances.
7. Zoning of surrounding properties should be shown on the plan.
8. No landscape plans were included in the submission. If there is no new site landscaping proposed, add a note to the cover sheet indicating such.
9. No lighting/photometric plan was included. If there is no new site lighting proposed, add a note to the cover sheet indicating such.
10. There are no architectural building floor plans or elevations included in the submission for the proposed standalone building in the middle of the site.
11. The proposed building height for the south building addition should be added to the elevation sheet.
12. Is there an existing dumpster enclosure on site? Will it remain or be replaced? Clarify.
13. Plans should indicate if any new signage is proposed as a part of the project.
14. In general, it is difficult to decipher the limits of proposed improvements. Recommend coloring and scaling of hatching be adjusted to provide clearer limits of concrete and asphalt paving as well as proposed buildings.
15. The Demolition and Removal Plan indicates most existing utility sizes, this information must also be shown on the utility plan along with the size of any proposed utility lines.

Access & Circulation

1. Plans should indicate a new barrier free sign for the proposed space.
2. Dimension the width of the proposed barrier free space (8' minimum) and the required 5' wide adjacent access area.
3. Additional dimensions should be added to the plan for all proposed pavement improvements including clear drive isle widths, curb/pavement radii and offsets from adjacent property lines and buildings.
4. Label all parking space dimensions as typical if applicable. It appears some spaces are not 10 feet wide.

Utilities and Drainage

1. The diameter of all existing and proposed storm sewers should be indicated on the plans.
2. It appears that there is an existing sanitary lead servicing the building fronting Princeton, label size. Plans should include a new or reuse of an existing sanitary lead for the proposed building in the middle of the site.
3. Plans should show the approximate location and size of the existing building water leads and any new leads to service proposed building(s) or additions.
4. An existing water main is shown entering the site on the north drive isle but terminates without any structures. Clarify and label the size of the main. All existing hydrants should be clearly shown on the plan and adequate hydrant coverage for all existing and proposed buildings should be approved by the City of Inkster Fire Department.
5. There is an existing 66" storm sewer running underneath the proposed standalone building in the middle of the site. Future construction plans should detail the foundation in this area to avoid damage to the existing sewer.
6. Any new private utilities to service the site should be shown and clearly labeled on the plan.
7. The Grading Plan should include the location and elevation of all existing and proposed catch basins that will provide drainage throughout the site. Grading plan should also include the finished floor and finished grade surrounding all existing and proposed buildings.
8. Plans include a legend for the various pavement types, cross section details should also be included per ordinance requirements.
9. It's not clear if any existing or proposed pad mounted transformers or generators are located on the project site. If none, please add a note indicating such. If present, these assets should be clearly labeled.

We recommend that the design engineering make the revisions above and resubmit for review before plans are formally considered by the City Planning Commission. If there should be any questions, we can be reached at 313.962.4442 anytime to discuss.

Respectfully,

GIFFELS WEBSTER

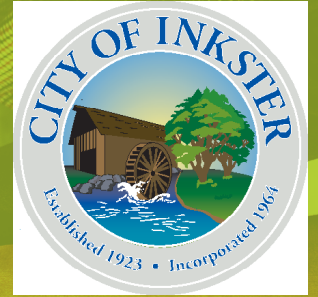


Mike Kozak, PE
President | Partner

cc: Jerome Bivins, Inkster DPS Director

January 19, 2024

Honorable Mayor and Council
City of Inkster
26215 Trowbridge
Inkster, Michigan 48141



2023 ANNUAL REPORT AND 2024 WORK PLAN

CITY OF INKSTER, MICHIGAN

Introduction and Purpose

In accordance with Michigan Compiled Laws §125.3819(2) also known as the Michigan Planning Enabling Act PA 33 of 2008, as amended, McKenna has prepared the following annual written report to the City Council concerning the operations and status of Planning Commission activities in 2023, as well as recommendations regarding City planning and development actions for 2024.

Membership, as of December 2023

We thank the following Planning Commission members for their time, commitment, and good work:

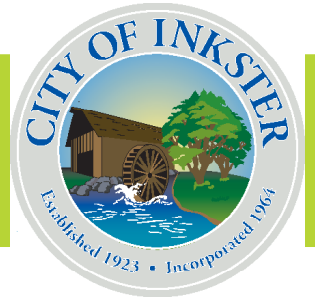
- Steven Chisholm, Chair
- Byron Nolen, Mayor
- Darryl Davis, City Appointee
- Tavan Hall
- Tonia Williams
- Sheryl Hayes-Bradford
- Mack Willis
- Ashley Williams
- Norma McDaniel

2023 Meetings

The Planning Commission met eleven times in 2023. The meetings are typically scheduled for the fourth Mondays of the month, at 6:30 PM, in the City Council Chambers, unless otherwise required by the State. All meetings are held in compliance with the Open Meetings Act, PA 267 of 1976, as amended.

1. Monday, January 23, 2023
2. Monday, February 27, 2023
3. Monday, March 13, 2023
4. Monday, March 27, 2023
5. Monday, April 24, 2023
6. Monday, May 22, 2023
7. Monday, June 12, 2023
8. Monday, June 26, 2023
9. Monday, August 28, 2023
10. Monday, September 25, 2023
11. Tuesday, December 19, 2023

2023 IN REVIEW



The following tables show project applications that were reviewed by the Planning Commission in 2023 along with their status as of December 2023.

Special Use and Site Plan Reviews

Location/Name	Description	Status	Date
Case # 22-36, Lemoyne Gardens	Planned Unit Development, Special Use & Site Plan: Redevelopment of housing development for townhomes and multiple family structure.	Approved	02/20/2023
Case # 22-33 Childcare Center 26260 Michigan Avenue	Special Use: Proposed childcare center for 7-12 children in the R1-B, One Family Residential District	Approved	04/17/2023
Case # 23-01 Childcare Center 4437 Inkster Road	Special Use: Proposed childcare center in the B-2, Thoroughfare Mixed Use District	Approved	04/17/2023
Case # 23-02, 23-03 Pure Cannabis 29865 Michigan Avenue	Special Use & Site Plan: Proposed adult use marijuana retainer in the B-3, General Business District	Denied	05/15/2023
Case # 23-04, 23-05 Bigby Coffee 27206 Michigan Avenue	Special Use & Site Plan: Proposed drive-through restaurant for Bigby Coffee in the TCD, Town Center District	Approved	06/19/2023
Case # 23-06 Legit Ink Tattoos 161 Middlebelt Road	Special Use: Proposed tattoo shop in the B-2, Thoroughfare Mixed Use District	Approved	08/08/2023
Case # 23-07 Childcare Center 337 Inkster Road	Special Use: Proposed childcare center in the B-2, Thoroughfare Mixed Use District	Withdrawn	
Case # 23-08 iMatch Path to Residency 715 Inkster Road	Special Use: Proposed mixed-use business with residential for medical students in the B-2, Thoroughfare Mixed Use District	Approved	09/18/2023
Case # 23-08, 23-09 Used Car Sales 26300 Michigan Avenue	Special Use & Site Plan: Proposed expansion of a second hand auto dealership in the B-3, General Business District	Denied	10/16/2023
Case # 23-10, 23-11 Auto Repair Shop 1475 Middlebelt	Special Use & Site Plan: Proposed auto repair shop in the B-3, General Business District	Approved	10/02/2023
Case # 23-14, 23-15 Cigar Lounge 3810 Inkster Road	Special Use & Site Plan: Proposed smoking lounge in the B-2, Thoroughfare Mixed-Use District	Denied	01/16/2024

Other Project Reviews

Location/Name	Description	Status
Citgo Gas Station 26717 Inkster Road	Sign Permit: Installation of awning sign.	Approved
VIP Appliance 27261 Cherry Hill	Sign Permit: Installation of wall sign.	Approved
Proto Cast 2699 John Daly	Sign Permit: Installation of ground sign.	Approved
1320 Auto Repair 1320 Middlebelt	Sign Permit: Installation of wall sign.	Approved
Green Acres 1444 Inkster Road	Sign Permit: Installation of wall and ground sign.	Approved
Turbo Collision 29640 Michigan Avenue	Sign Permit: Installation of wall sign.	Approved
315 N. Provisioning Center 364 Inkster Road	Sign Permit: Installation of wall sign.	Approved
NAR Cannabis 29899 Michigan	Sign Permit: Installation of wall and ground sign.	Approved
Quality Behavioral Health 27465 Michigan	Sign Permit: Installation of wall sign.	Approved
Dollar Tree 120 Inkster Road	Sign Permit: Installation of wall sign.	Approved
Restoration Chapel 646 Inkster Road	Sign Permit: Installation of ground sign.	Approved
Flower Bowl II 315 Inkster Road	Sign Permit: Installation of wall and ground sign.	Approved
Appliance Retailer 27261 Cherry Hill	Re-occupancy	Approved
Office 26807 Michigan	Re-occupancy	Approved
Quality Behavioral Health 27456 Michigan	Re-occupancy	Approved
School Bus Terminal 28530 Reynolds	Re-occupancy	Approved
White Box 1173 Henry Ruff	Re-occupancy	Approved
Banquet Hall 30225 Cherry Hill	Re-occupancy	Approved
Threading Beauty Salon 341 Inkster Road	Re-occupancy	Approved
Furniture Retailer 3000 Middlebelt	Re-occupancy	Approved

The Planning Department also undertook a number of special initiatives, detailed below.

Marijuana Ordinance

The City Council approved amendments to improve the administration of marijuana related businesses in April of 2023. The amendments were prepared with the input of the Planning Commission through multiple working sessions at regular meetings. The revisions incorporate social equity requirements for all marijuana businesses. This amendment also capped the number of retailers to a total of eight in the city. Additional standards were also added to reduce any odor associated with businesses.

Zoning Ordinance Updates

The Planning Department undertook a number of text amendments to the zoning ordinance to improve the clarity of the ordinance and make it easier for individuals to open businesses in the city. The amendment added definitions for the following uses: personal service establishment, towing service storage yard, rental hall, banquet facility, truck depot, and food processing. Additionally, the amendments codified the Downtown Development Authority's guidelines for signage for the Town Center District.

Redevelopment Ready Certification

As part of a continued effort seeking the Essentials Certification from the Michigan Economic Development Corporation planning staff along with the Planning Commission and the ad-hoc RRC subcommittee continued to work towards the required benchmarks. This committee met regularly and continues to address necessary action items, bringing the City significantly closer to Certification and achieved the following items:

Recruitment Process

Creating a clear recruitment and appointment process reduces barriers to attractive candidates for boards and commissions.

Training Strategy

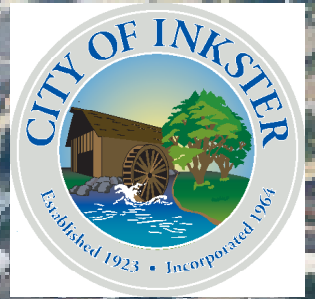
The subcommittee created a training strategy that identifies opportunities, expectations, and goals that are aligned with the community's plans, needs, and capacity. The working document is the basis for providing monthly training opportunities to development related boards and commission members.

Orientation Packet

The city now has orientation materials that are provided to all newly appointed and elected members of development related boards and commissions. This ensures that recently elected or appointed officials have the information they need to perform their new duties, which make the development review process more predictable. In addition, the subcommittee created sets of expectations for potential boards and commission members. This helps candidates understand which board may best fit their background and capacity.

Public Participation Plan

The RRC subcommittee organized and hosted a meeting with the community and the representative from the Michigan Economic Development Corporation to help design the public participation plan. The input informed how the community will reach out to a diverse set of stakeholders and make sure they are represented in the decision making process.



LOOKING AHEAD: PLANNING AND ZONING IN 2024

The Planning Commission and Planning and Community Development Department are responsible for the long-range planning projects and programs of the City.

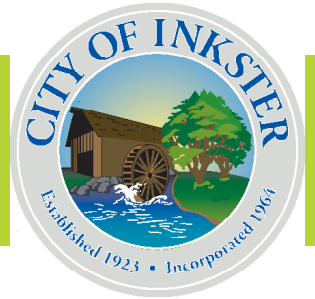
The Planning Commission is advised to consider the inclusion of the following projects, plans, and studies in its workplan for 2024. This strategic selection aims to further enhance the community's distinctive character, foster a thriving business environment, and uphold a superior quality of life for both residents and visitors.

CAPITAL IMPROVEMENT PLAN

The Michigan Planning Enabling Act requires all cities to establish a capital improvement plan. It is the Planning Commission's role to adopt the capital improvement plan. This plan ensures that investments are coordinated for infrastructure, parks, technology, and other public projects. The plan should detail a minimum of six years of public structures and improvements and coordinate projects to minimize construction cost. Additionally having a plan with projects at the ready can aid in applying for grant funding.

DEVELOPMENT OF INCENTIVE TOOLS

Planning Commission can work with City Administration, City Council and Staff to develop incentive tools for economic development. Locally available economic development incentive tools can help encourage development and ensure the most efficient use of land. These tools can be both financial or non-financial. Some tools include facade improvement programs, Brownfield TIF, Payment in Lieu of Taxes, Tax Abatements, among others. Non-financial tools may be density bonuses, expedited review processes, and pre-approved building plans.



MARKETING PLAN

Marketing and branding are an essential tool for promoting a community's assets and unique attributes. A marketing plan establishes goals and strategies for how a community should partner locally to build a consistent brand, tell their unique story, and attract new residents, visitors, businesses and development. The City has worked to keep their branding modern. However, there a multitude of development plans and marketing techniques across property sales and development areas. Creating a centralized, consistent strategy will help the City provide a universal vision and achieve long-term goals.

MASTER PLAN UPDATE

The Master Plan for the City of Inkster, adopted in 2017, serves as a pivotal guide for the city's growth and development. As mandated by the Michigan Planning Enabling Act (MPEA), municipalities are required to update their Master Plans every five years. However, the MPEA grants local bodies the flexibility to tailor the update process to their unique needs and circumstances. Embracing this opportunity, we propose a comprehensive and community-centric approach to the Master Plan Update.

At the core of our recommendation is the belief that fostering an authentic vision for the future necessitates robust community engagement. Inclusion of diverse voices from the community not only ensures

Request for Action

A proactive work program can help maintain a quality community, and we look forward to working with the City Council as it actively seeks to preserve and grow its economic base. If we can answer any questions or provide additional information regarding the services we offer, please do not hesitate to contact us any time at (248) 596-0920. Thank you.

Respectfully submitted,

McKENNA

representation but also cultivates a sense of ownership and commitment among residents. This foundation of community engagement becomes the bedrock upon which the Master Plan is built, creating a shared vision that reflects the aspirations and priorities of the people it serves.

By involving residents, local businesses, and stakeholders in the planning process, we aim to generate community buy-in. This buy-in is essential for the successful implementation of the Master Plan, as it signifies a collective endorsement of the proposed vision for the city's development. Moreover, a unified vision derived from extensive community input provides a clear and strategic roadmap for future development initiatives. This approach not only aligns with the spirit of the MPEA but also meets the requirements of the Redevelopment Ready Communities certification.

The City has partnered with McKenna to submit for the Michigan State Housing Development Authority's Housing Readiness Grant for \$50,000 toward the Master Plan Update. The City is also in discussion with MEDC to leverage technical assistance funds through the RRC program for further financial support of the Master Plan Update. The scope and budget of the project should be adjusted based on the amount of assistance received.

Estimated Cost: \$75,000 - \$100,000